

# CITY OF MERCER ISLAND

## COMMUNITY PLANNING & DEVELOPMENT

9611 SE 36TH STREET | MERCER ISLAND, WA 98040

PHONE: 206.275.7605 | [www.mercerisland.gov](http://www.mercerisland.gov)



March 11, 2022

Greg Arms  
8 Crescent Key  
Bellevue, WA 98006

Sent via email: [greg@milestonenw.com](mailto:greg@milestonenw.com)

RE: Request for Information #1 for File No. SUB21-006, CAO21-004, SEP21-022 – Milestone Short Subdivision  
7621 SE 22<sup>nd</sup> ST, Mercer Island, WA 98040; King County Tax Parcel # 531510-1846

Dear Mr. Arms:

The City of Mercer Island received the resubmittal for SUB21-006 on September 1, 2021 addressing the Incompleteness Letter dated 7/20/2021. In addition, the City of Mercer Island received the submittal for a Critical Areas Review 2 (CAR2) application and SEPA Review application on September 1, 2021. The CAR2 application was assigned application #CAO21-004 and the SEPA Review application was assigned #SEP21-022. The applications were determined to be complete on October 21, 2021. Following review of the applications listed above, City staff has determined that additional information is necessary to ensure compliance with the Mercer Island City Code (MICC). Please note that further review of this application is on hold until the following information is provided by the applicant (application status is "WCI" Waiting Customer Information). Please provide the following items:

### General:

1. When resubmitting, please submit a response letter to address each review comment. Please also state where the proposed changes can be found (i.e. sheet number, document name, etc.).
2. When resubmitting electronically to the SFTP website, please make it clear in the file name that the resubmittal is for all 3 associated land use applications and notify the Permitting Staff at [epermittech@mercerisland.gov](mailto:epermittech@mercerisland.gov).

### Fire comment:

Contact: Jeromy Hicks, Fire Marshal, at [Jeromy.hicks@mercerisland.gov](mailto:Jeromy.hicks@mercerisland.gov) or 206-275-7979.

3. Please add the following note to the plat:

"All buildings are subject to meeting the current fire code requirements at the time of permit submittal. Access shall be provided as outlined in the International Fire Code Appendix D as adopted and/or amended and MICC 19.09.040. Fire plan reviews will be conducted at the time of building permit submittal and may require additional fire protection systems and/or fire prevention measures for permit approval."

### Land Use Planning:

Contact: Lauren Anderson, Planner, at [lauren.anderson@mercerisland.gov](mailto:lauren.anderson@mercerisland.gov) or 206-275-7704.

4. Building Pad:
  - a. Please illustrate and label the three (3) building pad areas that comply with MICC 19.09.090. In general, the building pad excludes setbacks and avoids and minimizes impacts to the following: trees, vegetation, topography, and critical areas (geohazards and buffer averaging area).
  - b. Please have your Geotechnical Engineer review the proposed building pad locations and indicate compliance with MICC 19.09.090(A)(2)(c)(i-iii) in a follow-up letter or report addendum.
5. Geotechnical:
  - a. Indicate compliance with MICC 19.07.160. This includes providing a statement of risk consistent with 19.07.160(B)(3)(a-d).
  - b. Geotechnical Report on page 4 references “the City of Bellevue Municipal Codes” – please revise to state the City of Mercer Island.
  - c. Note: after the city has received building pad locations and the requested geotechnical information, our Geotechnical Engineer will perform a peer review. These comments have not included Geotechnical Engineering review.
6. Easements:
  - a. Clearly list existing easements to remain, be altered/extinguished, and proposed easements. Include the recording numbers for existing easements.
7. Type F Watercourse:
  - a. Provide an updated critical areas study with the revised project scope proposing buffer averaging. The critical areas study shall indicate compliance with MICC 19.07.180(C)(4) buffer averaging, MICC 19.07.100 mitigation sequencing, and 19.07.180(E) mitigation requirements. This includes demonstrating that the proposed impacts have been mitigated and will not result in a loss of ecological function.
  - b. Please note that there are setbacks from the edge of the buffer. Refer to MICC 19.07.180(C)(7) and (8).
  - c. Provide an updated plan set that illustrates the buffer area to be averaged and include a mitigation plan.
  - d. After the city has received this requested information, ESA the city’s environmental consultant will review the project, complete a site visit, and prepare a memo.
8. SEPA Review:
  - a. Revise the project description to include the proposed Type F watercourse buffer averaging.
9. General:
  - a. Provide the following for Lots 1-3:
    - a. Net lot area
    - b. Maximum allowed lot coverage
    - c. Maximum allowed gross floor area
    - d. Lot width and depth
  - b. Provide a narrative on how the project complies with the following:
    - i. MICC 19.08.020(D)(1)(a-c).
    - ii. MICC 19.09.040 private access roads and driveways.
      1. Per 19.09.040(B) all private access roads serving two single-family dwellings shall be at least 16 feet in width, with at least 12 feet of that width consisting of pavement and the balance consisting of well compacted shoulders.
  - c. Please include the land use file number, “SUB21-006 Milestone-WCMI LLC”, on the plan set.
  - d. Please refer to the King County Wastewater Treatment Division letter and email from the LPA Team the city has received attached. The LPA Team has requested the following:
    - iii. Please illustrate King County’s sewer on the sewer plan and include a profile view of the proposed sewer connection. Label the size of the sewer shown on the plans.
    - iv. Please confirm if the proposed connection to the 8” local sewer.

Civil Engineering:

Contact: Ruji Ding, Senior Development Engineer, at [ruji.ding@mercerisland.gov](mailto:ruji.ding@mercerisland.gov) or 206-275-7703.

10. Easements:
  - a. Please clearly distinguish the existing easements within the plan set.
  - b. Clearly distinguish the private easements from public easements within the plan set.
  - c. Note the recording numbers for all existing easements within the plan set.
11. Please provide a plat map only showing the old lot lines with bearings and distances, an all existing easements and proposed easements.

Trees:

Contact: John Kenney, City Arborist at [john.kenney@mercerisland.gov](mailto:john.kenney@mercerisland.gov) or 206-275-7713.

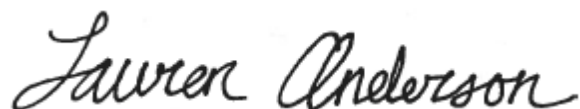
12. (For Architect from Pre application meeting/Intake) Tree 13 is exceptional and dripline is not shown according to Arborist report. A 16' dripline to the north should be shown. Also see the Arborist's Limits of allowable disturbance that must be shown on the plans and updated for all trees. If these limits are encroached upon the tree would be considered damaged and possibly removed. Unless an Arborist supervised, and controlled air excavation root analysis is conducted and finds different results. Example, exceptional tree 1 is shown 2' from a building pad. This tree would need to be removed as shown and would need justification per MICC19.10.060.3. Or move the building pad with at least 5' surrounding the building pad for access.
13. (For Civil from Intake) See checklist for tree protection plan. Use Arborist report to complete plan. Create tree protection plan with dripline of all trees even those proposed for removal. [https://www.mercerisland.gov/sites/default/files/fileattachments/community\\_planning\\_amp\\_development/page/21988/treessubmittalchecklist.pdf](https://www.mercerisland.gov/sites/default/files/fileattachments/community_planning_amp_development/page/21988/treessubmittalchecklist.pdf)
14. (For Landscape Architect from Intake) A preliminary replanting plan is recommended at this time to confirm replacements can be fit on the property. It will be required at the time of building. At least half of the trees need to be Pacific Northwest native. The trees need to be at least 10' apart from each other, structures, fences, and utilities. If you can show no room exists on site for all the required trees, the remainder can be a fee in lieu. A request form must be completed and approved for this option. 6 replacement trees will be required for all exceptional grove trees.
15. You will be required to save 30% of all large regulated trees and any exceptional trees over 24" in diameter. Please provide a plan with these trees indicated along with their Arborist given driplines.
  - a. Show the different options for lot line placements that retain the largest number or best suitable for retention exceptional trees. Is an east/west or north/south configuration best for tree retainage?
  - b. Determine the allowed setbacks and maximum gross floor area for each lot and configure the building pad to best avoid any exceptional trees and retain 30% of large trees (what building can fit without encroaching into exceptional trees dripline). You may need to modify the traditional rectangle building pad to accommodate for exceptional trees dripline.
  - c. You must make the case in a narrative and plan showing you have followed these steps.
  - d. You may only remove the exceptional tree after this exercise takes place and you find retaining the tree would limit the constructible gross floor area to less than 85% of the maximum gross floor area per MICC19.10.060.
  - e. Trees must be protected at Arborist given limits of allowable disturbance. Building pads must have a 5' buffer to access and construct the building. As an example, placing a building pad 2' away from a tree will result in the tree being damaged and removed.

With your resubmittal, please provide a cover letter responding to each of the items above. Please reference page/sheet numbers noting where the requested information can be found. An incomplete resubmittal may delay your project.

The City's processing of the Short Plat, CAR2, and SEPA applications has been put on hold until these issues are resolved. Pursuant to MICC 19.15.110, all requested information must be submitted within 90 days or a request for extension requested. The deadline for a complete response or request for extension is June 9, 2022. If a complete response is not received or an extension response has been received prior to that date, the application will expire and be canceled for inactivity. No additional notification regarding this deadline or expiration of the application will be provided.

Please do not hesitate to contact me at 206-275-7704 or via e-mail at [lauren.anderson@mercergov.org](mailto:lauren.anderson@mercergov.org) if you have any questions.

Sincerely,

A handwritten signature in black ink that reads "Lauren Anderson". The signature is written in a cursive, flowing style.

Lauren Anderson  
Planner  
City of Mercer Island Community Planning and Development

Enclosed:

Attachment A: King County Wastewater Treatment Division letter

Attachment B: LPA Team Correspondence



# Attachment A

## King County

Department of Natural Resources and Parks

### Wastewater Treatment Division

King Street Center, KSC-NR-0505  
201 South Jackson Street  
Seattle, WA 98104-3855

November 22, 2021

sent via email: [lauren.anderson@mercerisland.gov](mailto:lauren.anderson@mercerisland.gov)  
OAP Ref No. 1857

Lauren Anderson  
City of Mercer Island, Community Planning & Development  
9611 SE 36<sup>th</sup> St  
Mercer Island, WA 98040

Dear Lauren Anderson:

The King County Wastewater Treatment Division (WTD) has received Notice of Application (NOA) for the Greg Arms / Milestone WCMILLC project (SUB21-006, CAR21-004, & SEP21-022) that proposes for Preliminary Short Plat approval for three (3) lots, and a Critical Areas Review 2 application with SEPA review.

**King County facilities, the 48-inch North Mercer Island Trunk and the North Mercer Pump Station, are adjacent to the project area (see enclosed record drawing showing the location of the facilities in the project vicinity).**

In order to protect this wastewater facility during construction, **WTD requests that City of Mercer Island, Community Planning & Development submit construction drawings for the project**, so that WTD can assess its potential impacts. Please send drawings to:

Local Public Agency Program  
King County WTD, Engineering and Technical Resources  
201 South Jackson Street, KSC-NR-0503  
Seattle, WA 98104-3855  
(206) 477-5414 / [lpa.team@kingcounty.gov](mailto:lpa.team@kingcounty.gov)

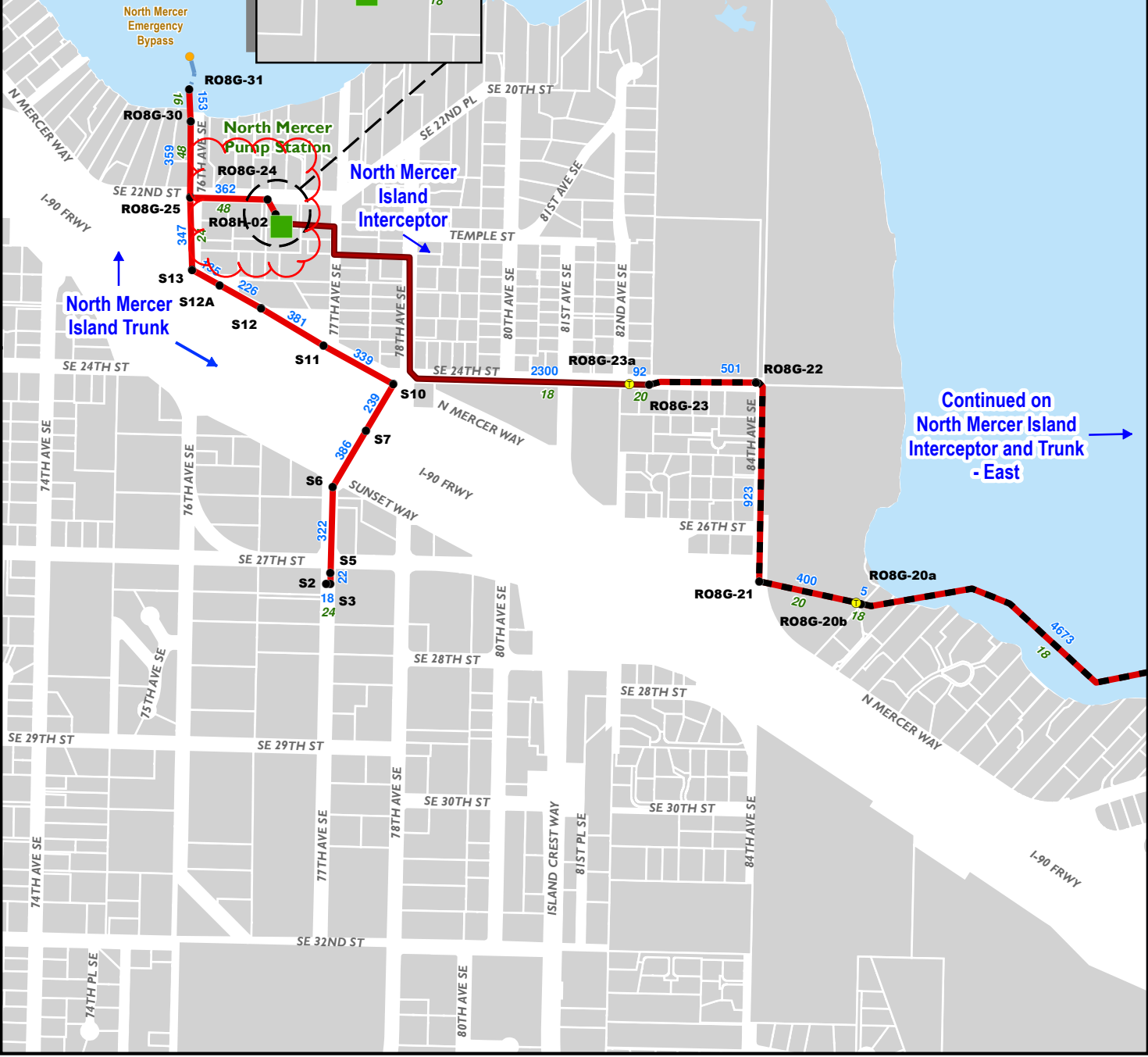
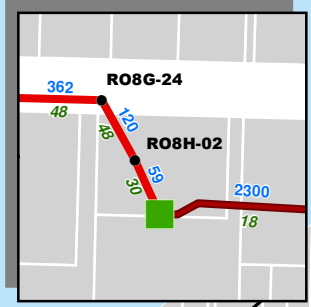
Thank you for the opportunity to review and comment on this proposal.

Sincerely,

Bailey Pfeiffer  
Environmental Planning Administrator

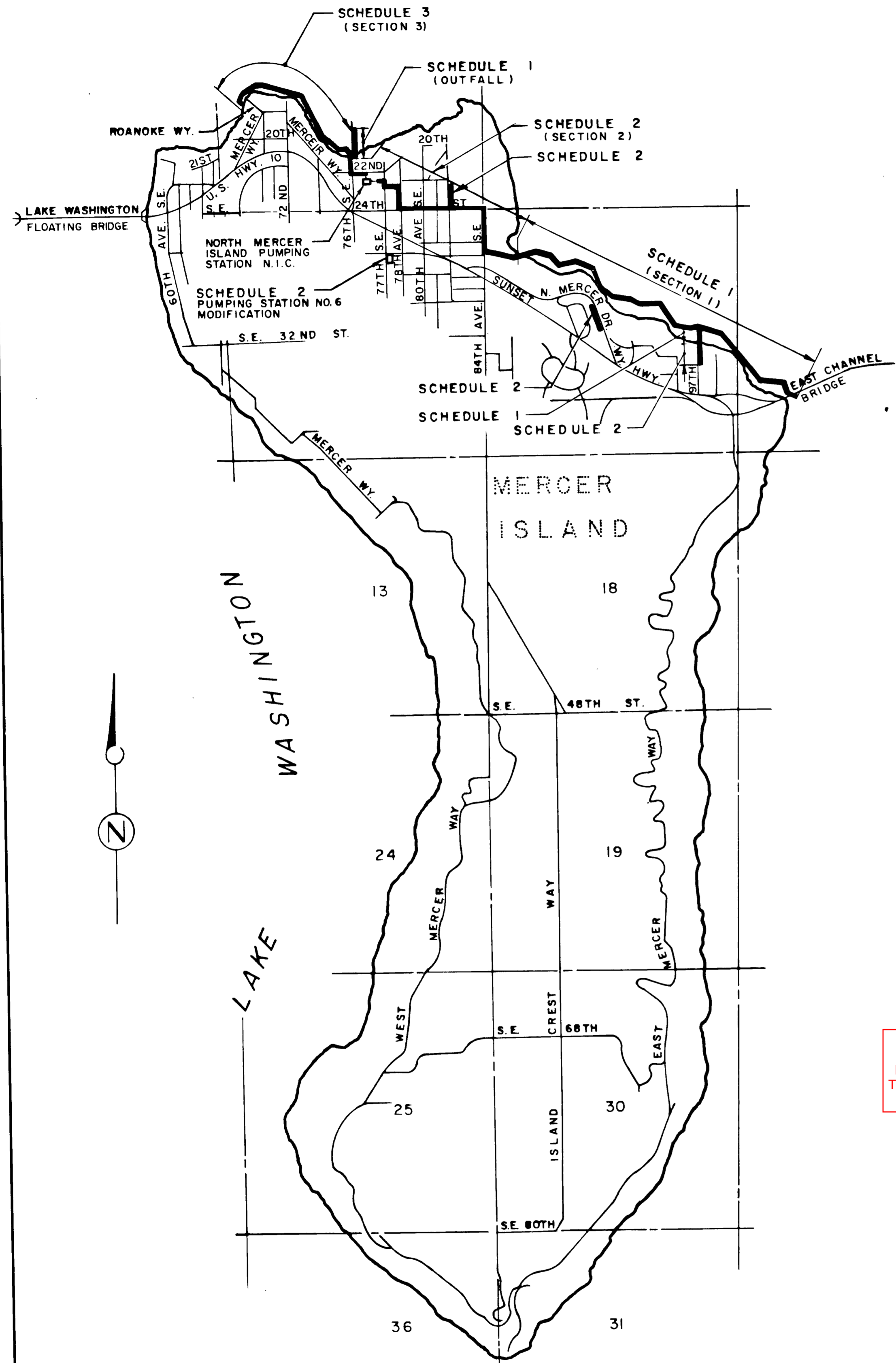
Enclosure: Record drawing and sewer one-line map of the North Mercer Island Trunk and the North Mercer Pump Station in the vicinity of the proposed project.

Lake Washington



Continued on North Mercer Island Interceptor and Trunk - East

INDEX OF DRAWINGS



GENERAL

SHEET NO.	DRAWING NO.	TITLE
1	G1	INDEX OF DRAWINGS LOCATION AND VICINITY MAPS
2	G2	SYMBOLS, BENCH MARKS AND NOTES
3	G3	GENERAL STRUCTURAL NOTES DETAILS AND SPECIAL MANHOLES
4	G4	MANHOLE DETAILS
5	G5	STANDARD PRESSURE MANHOLE FRAMES AND COVERS
6	G6	EAST CHANNEL SIPHON CONNECTION AND TYPICAL THRUST BLOCKS
7	G7	INTAKE AND BYPASS STRUCTURE PLANS SECTIONS AND DETAILS
8	G8	TYPICAL TRENCH SECTIONS AND DETAILS

SCHEDULE 1

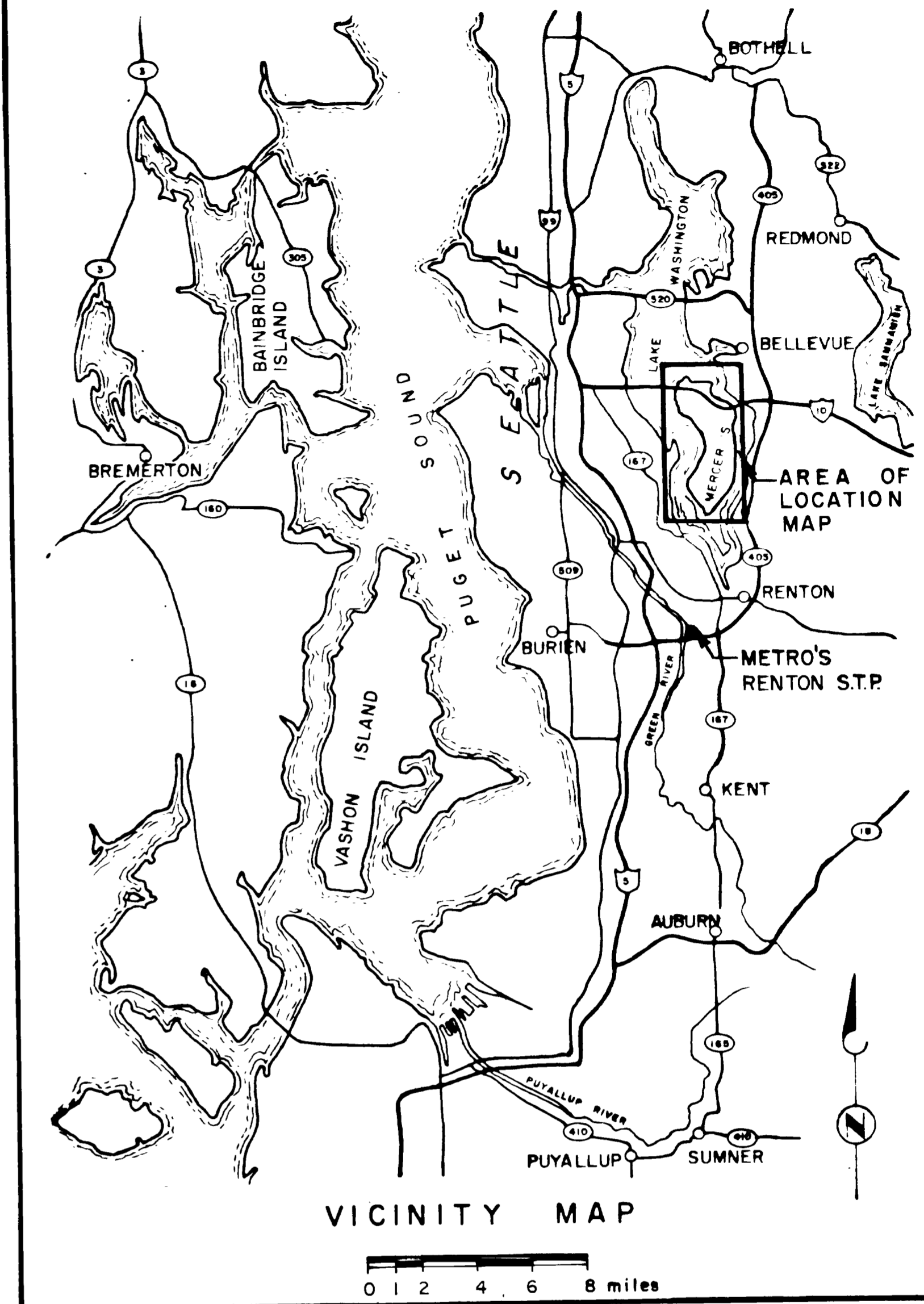
9	P101	STATION 0+00 TO STATION 13+50
10	P102	STATION 13+50 TO STATION 27+50
11	P103	STATION 27+50 TO STATION 41+50
12	P104	STATION 41+50 TO STATION 55+00
13	P105	STATION 55+00 TO STATION 68+50
14	P106	STATION 68+50 TO STATION 72+74.98(END) BYPASS AND CONNECTION
15	P107	SURVEY CONTROL DATA - PLANS STATION 0+00 TO STATION 29+50
16	P108	SURVEY CONTROL DATA - PLANS STATION 29+50 TO STATION 60+50
17	P109	SURVEY CONTROL DATA - PLANS STATION 60+50 TO STATION 72+74.98

SCHEDULE 2

SHEET NO.	DRAWING NO.	TITLE
18	P201	STATION 1+10 TO STATION 13+00
19	P202	STATION 13+00 TO STATION 25+50
20	P203	STATION 25+50 TO STATION 38+00
21	P204	CONNECTION DETAILS STATION 38+00 TO STATION 43+75.96(END)
22	P205	STATION 0+00 TO STATION 7+20.57 TUNNEL
23	P206	PLAN - 76TH AVE. SE CONNECTIONS
24	P207	97TH AVE. SE SEWER - PUMPING STATION NO. 6 MODIFICATION
25	P208	NORTH MERCER WAY SEWER
26	P209	SUBTERRANEAN VENT - LINE

SCHEDULE 3

27	P301	STATION 1+21.14 TO STATION 13+00
28	P302	STATION 13+00 TO STATION 26+00
29	P303	STATION 26+00 TO STATION 30+06.13(END)
30	P304	SURVEY CONTROL DATA - PLANS STATION 1+21.14 TO STATION 30+06.126



LOCATION MAP  
SCALE 1" = 1,600'

PROJECT ELEVATION 100.0 EQUALS MEAN  
SEA LEVEL DATUM USC & GS 1929  
(1947 ADJUSTMENT)

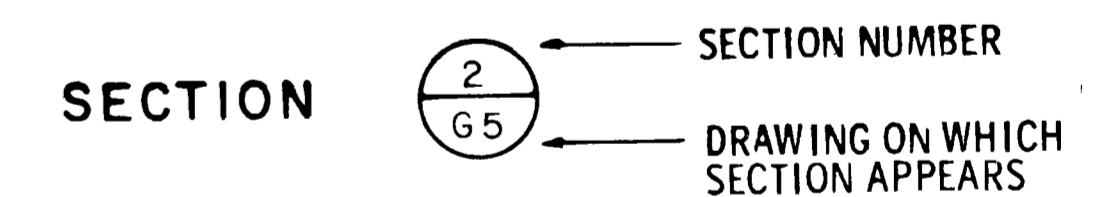
	US ENGRS. MLLW	USC&GS M.S.L.	METRO
MEAN REGULATED LAKE LEVEL	2100'	14.07'	114.07'
MIN. REGULATED LAKE LEVEL	2000'	13.07'	113.07'

"KING COUNTY DEPARTMENT OF  
NATURAL RESOURCES AND PARKS  
DOES NOT WARRANT OR GUARANTEE  
THE ACCURACY OR COMPLETENESS OF  
THE DATA SHOWN HEREIN"

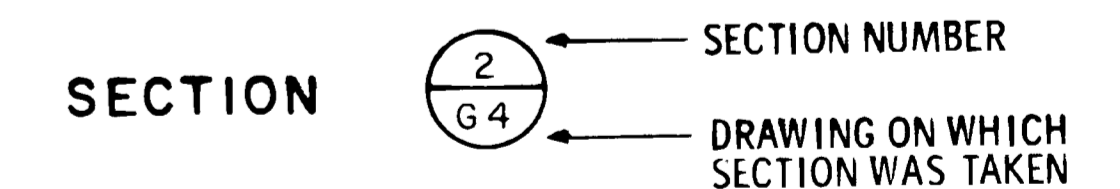
NOTE:

THE DRAWINGS ARE CROSS-REFERENCED IN THE FOLLOWING MANNER:

(A) SECTION CUT ON DRAWING G4



(B) ON DRAWING G5 THIS SECTION IS IDENTIFIED AS:



(C) DETAILS ARE CROSS-REFERENCED IN A SIMILAR MANNER, EXCEPT THAT DETAILS ARE IDENTIFIED BY LETTER RATHER THAN BY NUMBER.

104412 AS CONSTRUCTED  
DATE SEPT. 1970



DESIGNED: GSD  
DRAWN: NLH  
CHECKED: GSD  
METROPOLITAN ENGINEERS  
BROWN AND CALDWELL CAREY AND KRAMER  
HILL AND INGMAN R.W. BECK AND ASSOCIATES

SUBMITTED: *Raymond D. Deaton*  
Design Engineer - Metropolitan Engineers

RECOMMENDED: *Walter D. Deaton*  
Project Engineer - Metropolitan Engineers

APPROVED: *Kenneth J. Sullivan*  
Chief Engineer - Metropolitan Engineers

APPROVED: *Charles R. Cox*  
Professional Engineer

APPROVED: *Charles R. Cox*  
For Municipality of Metropolitan Seattle

AS NOTED

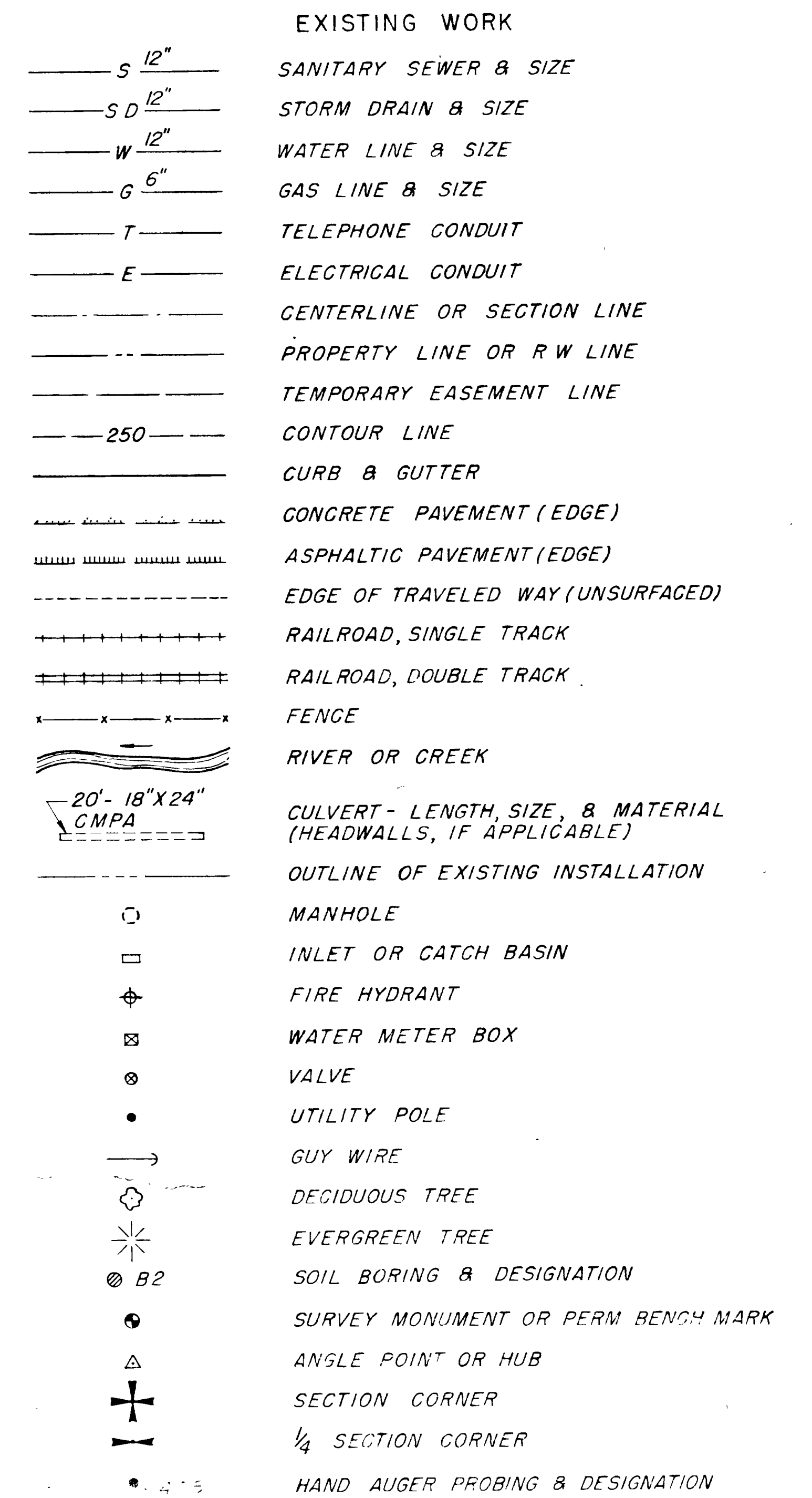
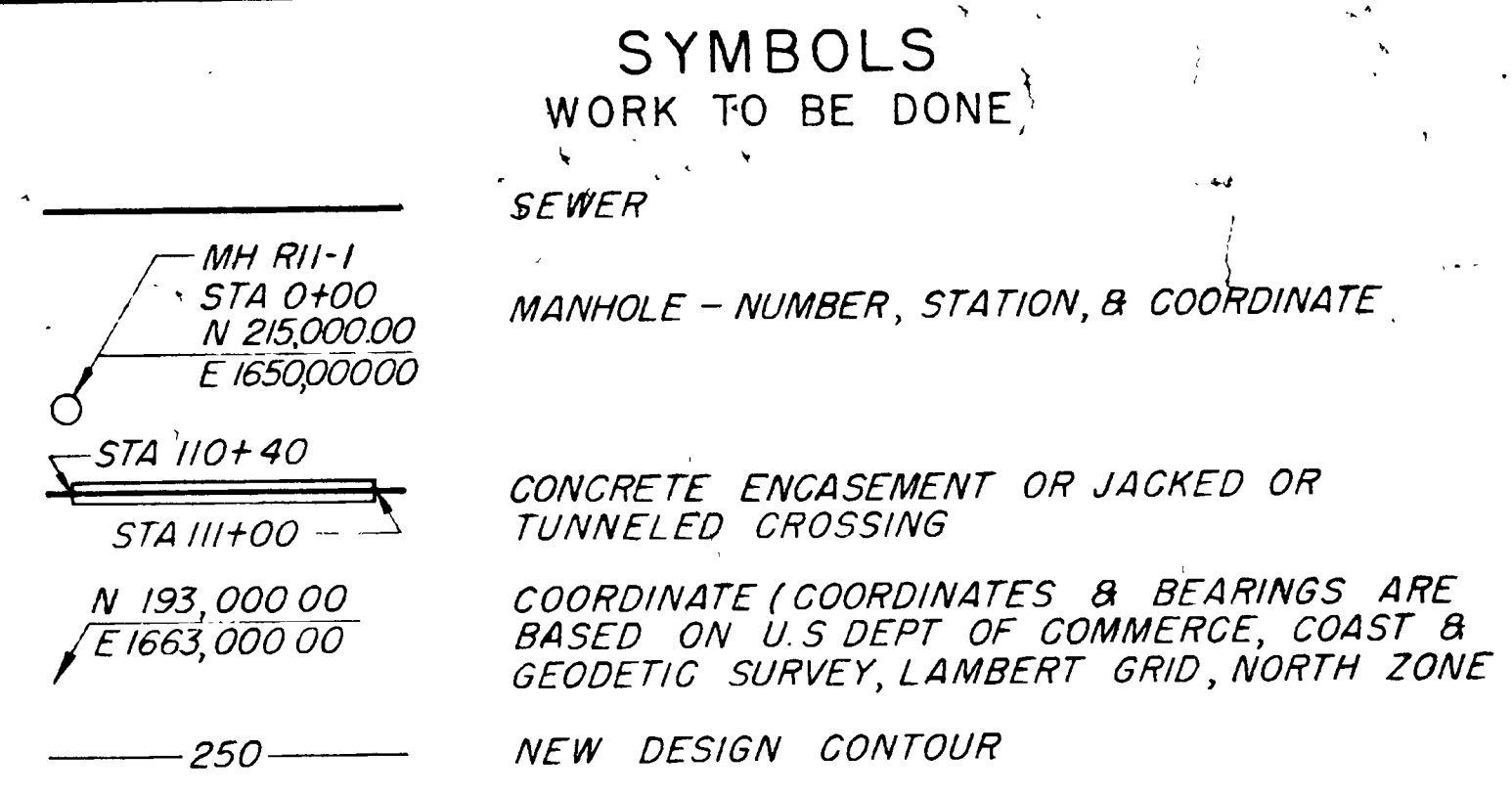
DATE: NOV. 1968

RENTON SYSTEM

NORTH MERCER ISLAND INTERCEPTOR  
INDEX OF DRAWINGS  
LOCATION AND VICINITY MAPS

DRAWING NUMBER: G1  
SHEET NUMBER: 1 OF 30

KING COUNTY DEPARTMENT OF  
 NATURAL RESOURCES AND PARKS  
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 THE DATA SHOWN HEREIN



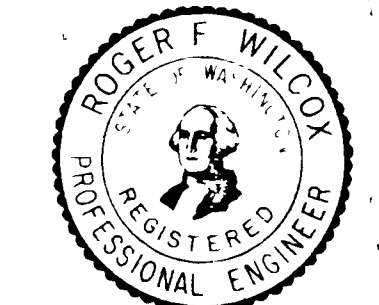
BENCH MARK NUMBERS	DESCRIPTION	ELEVATIONS
ES-480	PK NAIL ON EAST SIDE OF NORTHERLY BRIDGE PIER ON WEST SIDE OF EAST CHANNEL LAKE WASHINGTON.	19.508
ES-481	TACK IN LEAD IN NORTHEAST CORNER OF CONCRETE BULKHEAD, 2ND DOCK 400' SOUTH OF EAST CHANNEL BRIDGE ON WEST SHORE OF LAKE WASHINGTON.	15.866
ES-844	TACK IN LEAD IN CONCRETE BULKHEAD ON SOUTH SIDE OF DOCK IN FRONT OF BRICK HOUSE NO. 10020.	16.869
ES-845	TACK IN LEAD IN BOTTOM LEDGE OF CONCRETE BULKHEAD ON FENCE LINE 40' ± NORTH OF DOCK FROM LARGE BOATHOUSE NO. 9772.	14.275
ES-846	TACK IN LEAD IN SOUTHEAST CORNER OF MANHOLE STRUCTURE AT END OF 97TH AVENUE SE 15' ± SOUTH OF LAKE LINE ON WEST SIDE OF DIRT ROAD.	19.673
ES-847	RAILROAD SPIKE IN SOUTHEAST SIDE OF 24" COTTONWOOD TREE IN LINE WITH STAIRS COMING DOWN FROM HOUSE NO. 9400 15' ± EAST OF DOCK.	17.867
ES-848	TACK IN LEAD IN NORTHEAST CORNER OF CONCRETE SIDEWALK LEADING TO MOORAGE DOCK FOR SHOREWOOD RESIDENTS AT WESTERLY END OF PRIVATE BEACH AREA.	16.280
ES-849	TACK IN LEAD ON NORTHEAST RIM OF 4' CIRCULAR CONCRETE WELL CASING 6' EAST OF 24" CEDAR 9' WEST OF STAIRS DOWN FROM HOUSE NO. 9010 OPPOSITE RAMP TO DOCK.	21.641
ES-850	RAILROAD SPIKE IN SOUTHEAST SIDE OF 16" COTTONWOOD TREE 105' ± WEST OF DOCK, PUMP AND STORAGE SHED ON WEST END OF CLEARING NEAR HOUSE NO. 8905	18.187
ES-851	TACK IN LEAD IN NORTHWEST CORNER OF CONCRETE RETAINING WALL APPROXIMATELY 1.2' WIDE ON WEST PROPERTY LINE OF HOUSE NO. 8618, 10' WEST OF CENTERLINE DOCK UNDER GROVE OF WEEPING WILLOWS.	16.752
ES-852	RAILROAD SPIKE IN NORTHEAST SIDE OF 24" POPLAR TREE APPROXIMATELY ON PROPERTY LINE EAST OF HOUSE WEST EDGE OF LARGE EXPANSE OF LAWN ENCLOSED BY LARGE POPLAR AND CEDAR TREES. SMALL WHITE COTTAGE SITS ON LOT.	16.931
ES-853	RAILROAD SPIKE IN BACKSIDE OF 9" TREE 100' ± SOUTHWEST OF LIFE GUARD STATION 5' WEST OF LAKE EDGE, LUTHER BURBANK BEACH AREA.	16.400
ES-855	TOP OF BOLT WITH "X" ON FIRE HYDRANT LOCATED ON NORTHWEST CORNER OF INTERSECTION OF SE 24TH STREET AND 84TH AVENUE SE.	87.987
ES-856	RAILROAD SPIKE IN SOUTH SIDE OF POWER POLE ON SOUTHWEST CORNER OF 82ND AVENUE SE AND 24TH STREET SE ON WEST EDGE OF DRIVEWAY TO HOUSE NO. 8205.	114.442
ES-857	RAILROAD SPIKE IN NORTHEAST SIDE OF POWER POLE ON SOUTHEAST CORNER OF 81ST AVENUE SE AND 24TH STREET SE.	97.655
ES-858	RAILROAD SPIKE IN SOUTH SIDE OF POWER POLE ON SOUTHEAST CORNER OF INTERSECTION OF 80TH AVENUE SE AND SE 24TH STREET.	81.035
ES-859	TOP OF BOLT WITH "X" ON NORTHEAST SIDE OF FIRE HYDRANT ON NORTHEAST CORNER OF 78TH AVENUE SE AND SE 24TH STREET.	92.644
ES-1078	RAILROAD SPIKE IN EAST FACE OF POWER POLE ON EAST SIDE OF 77TH AVENUE SW CORNER OF ROCK WALL HOUSE NO. 2244.	67.967
ES-1079	TOP OF BOLT WITH "X" ON SOUTHEAST SIDE OF FIRE HYDRANT ON NORTH SIDE OF SE 22ND STREET IN LINE WITH WEST EDGE OF 77TH AVENUE SE.	43.504
ES-1081	RAILROAD SPIKE ON SOUTHWEST FACE OF POWER POLE ON SOUTH SIDE OF SE 22ND STREET ACROSS FROM DRIVEWAY TO HOUSE NO. 7650.	29.307
ES-1080	MOST SOUTHERLY BOLT WITH "X" ON FIRE HYDRANT 20' ± WEST OF DRIVEWAY TO HOUSE NO. 7638 ON SE 22ND STREET.	34.027
ES-863	TOP OF BOLT WITH "X" ON WEST SIDE OF FIRE HYDRANT ON NORTHWEST CORNER OF 76TH AVENUE SE AND SE 22ND STREET.	48.799
ES-1062	RAILROAD SPIKE IN POWER POLE ON EAST SIDE OF 76TH AVENUE SE, 36' ± SOUTH OF DRIVEWAY TO HOUSE. LAST POWER POLE RUNNING NORTH.	29.349

BENCH MARK ELEVATIONS ARE MEAN SEA LEVEL DATUM  
 USC & GS 1929-1987 ADJUSTMENT. ALL ELEVATIONS FROM THIS ELEVATION

BENCH MARK NUMBERS	DESCRIPTION	ELEVATIONS
ES-1063	TACK IN LEAD IN NORTHWEST CORNER OF CONCRETE SLAB FOR PUMP WELL AT END OF 76TH AVENUE SE 35' ± SOUTH OF SHORELINE.	18.392
ES-1064	TACK IN LEAD IN TOP OF CONCRETE RETAINING WALL SUPPORTING DOCK 1.5' EAST OF EAST DOCK LINE 45' ± EAST OF WEEPING WILLOW TREE FRONT OF HOUSE NO. 7420.	15.263
ES-1065	TACK IN LEAD IN NORTHEAST CORNER OF FIRST STEP DOWN IN SET OF FOUR STEPS FROM RETAINING WALL 27' ± WEST OF DOCK IN FRONT OF HOUSE NO. 7230.	15.099
ES-1066	TACK IN LEAD IN SOUTHEAST CORNER OF SECOND CONCRETE STEP LEADING DOWN FROM LAWN TO WATER IN FRONT OF HOUSE NO. 1621.	18.212
ES-1067	RAILROAD SPIKE IN SOUTHEAST SIDE OF 28" WILLOW ON NORTHWEST CORNER OF LOT HOUSE NO. 1614 10' ± EAST OF OLD WHITE BOAT HOUSE AND PUMP SHED 30' ± EAST OF ROANOKE WAY 15' ± UP FROM LAKE EDGE.	19.148
ES-1073	TOP OF MOST SOUTHERLY BOLT WITH "X" ON FIRE HYDRANT ON NORTH SIDE OF MERCER WAY 35' ± EAST OF DRIVEWAY TO HOUSE NO. 9095 ON SIDE OF STREET (STATE 90-2).	90.680
ES-1075	TOP OF SOUTHERLY BOLT BETWEEN WORDS "NOOGA" AND TENN. NORTHWEST CORNER OF DRIVEWAY TO HOUSE NO. 9004 NORTH SIDE OF MERCER WAY APPROXIMATELY CENTER OF CURVE.	93.491
ES-1068	BOLT ON FIRE HYDRANT BETWEEN THE "L'S" IN MULLER ON THE EAST SIDE OF 97TH AVENUE SE 115' ± NORTH OF SE 34TH STREET.	41.631
ES-1069	EXISTING TACK IN LEAD IN TOP OF 12" x 12" BRICK FENCE POST ON THE NORTHEAST CORNER OF SE 34TH STREET AND 96TH AVENUE SE.	58.836

SPECIAL CONSTRUCTION NOTES

- SN1 THE CONTRACTORS SHALL IN NO WAY INTERFERE WITH THE PROPER OPERATION OF EXISTING SEWERS AND PUMPING STATIONS UNTIL THE DESIGNATED CONNECTIONS TO THESE SYSTEMS ARE MADE. NO CONNECTIONS TO THE NEW SYSTEM SHALL BE MADE UNTIL COMPLETION AND TESTING OF THE NORTH MERCER ISLAND PUMPING STATION (CONTRACT 68-3) AND SECTIONS 1 AND 2 OF THIS CONTRACT (68-6). THE CONTRACTORS SHALL ACQUAINT THEMSELVES WITH CONTRACT 68-3 CONSTRUCTION SCHEDULE AND SHALL COORDINATE THEIR WORK WITH THAT OF CONTRACT 68-3 AND WITH OTHER CONTRACTORS FOR THIS CONTRACT 68-6.
- SN2 THE SCHEDULE 1 CONTRACTOR SHALL MAKE THE CONNECTIONS TO THE SCHEDULE 2 PIPELINES AT 97TH AVENUE SE (STA. 1+74.31), AT THE END OF SECTION 1 (STA. 72+74.98), AND AT 76TH AVENUE SE (TWO CONNECTIONS). ALL POINTS OF CONNECTION ARE SHOWN ON DRAWING P106. THE SCHEDULE 2 PIPELINES WILL BE AVAILABLE FOR CONNECTION NO LATER THAN 180 DAYS AFTER NOTICE TO PROCEED IS GIVEN TO THE SCHEDULE 2 CONTRACTOR.
- SN3 THE SCHEDULE 2 CONTRACTOR SHALL CONSTRUCT PIPELINES AND CONNECTION PITS AT ALL POINTS OF CONNECTION TO SCHEDULE 1 PIPELINES NO LATER THAN 180 DAYS AFTER NOTICE TO PROCEED. ALL EXCAVATIONS SHALL BE SHORED AND BRACED WITH SUITABLE COVERS FOR PROTECTION OF THE GENERAL PUBLIC. SUBJECT TO APPROVAL OF THE SCHEDULE 1 CONTRACTOR, PIPELINES AND CONNECTION PITS MAY BE CONSTRUCTED LATER THAN SPECIFIED ABOVE.
- SN4 THE SCHEDULE 3 CONTRACTOR SHALL MAKE THE CONNECTION TO THE SCHEDULE 1 PIPELINE AT 76TH AVENUE SE (STA. 1+34.86 BK STA. 1+21.41 AHD).
- SN5 PRIOR TO DEMOLITION OF EXISTING PUMPING STATIONS, THE CONTRACTOR SHALL REMOVE AND DELIVER TO THE MAINTENANCE SHOP AT METRO'S RENTON TREATMENT PLANT THE FOLLOWING ITEMS:  
 HOUR METERS  
 SUMP PUMPS  
 EXHAUST FANS  
 INSTRUMENT AIR COMPRESSORS  
 CONTROLLERS  
 TELEMETRY TRANSMITTERS
- SN6 BEFORE WORK SHALL COMMENCE ON PUMPING STATION NO. 6 MODIFICATIONS, THE NORTH MERCER ISLAND PUMPING STATION (CONTRACT 68-3) SHALL BE COMPLETE AND OPERATIONAL INCLUDING ALL NECESSARY SEWER LINES (SCHEDULE 1 AND 2) IN THIS CONTRACT 68-6 TO PROVIDE CONVEYANCE OF SEWAGE TO THE EXISTING EAST CHANNEL SIPHON (CONTRACT NO. 67-1) WITHOUT BYPASSING OR OVERFLOWS. ALL FLOWS TRIBUTARY TO PUMPING STATION NO. 2 SHALL BE CONNECTED TO THE NEW SYSTEM PRIOR TO BEGINNING THIS WORK.
- SN7 AFTER MAKING THE FORCE MAIN CONNECTION AT PUMPING STATION NO. 6, THE CONNECTION TO THE EXISTING MANHOLE ON NORTH MERCER WAY AT 89TH PLACE SE SHALL BE MADE AND THE LOCAL SEWER ON NORTH MERCER WAY COMPLETED WITHIN 30 DAYS. SEE DRAWINGS P207 AND P208.



104413

AS CONSTRUCTED  
 DATE SEPT. 1970



KING COUNTY DEPARTMENT OF  
 NATURAL RESOURCES AND PARKS  
 DOES NOT WARRANT OR GUARANTEE  
 THE ACCURACY OR COMPLETENESS OF  
 THE DATA SHOWN HEREIN

**GENERAL STRUCTURAL NOTES**

**GENERAL**

- G1 **SCOPE.** THE NOTES AND DETAILS ON THIS SHEET ARE GENERAL AND APPLY TO THE ENTIRE PROJECT EXCEPT WHERE THERE ARE SPECIFIC INDICATIONS TO THE CONTRARY.
- G2 **APPLICABLE SPECIFICATIONS AND CODES.** CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE UNIFORM BUILDING CODE EXCEPT WHERE OTHER APPLICABLE CODES, THE FOLLOWING NOTES OR DRAWINGS ARE MORE RESTRICTIVE.
- G3 **ALTERNATIVE DESIGNS.** THE STRUCTURAL SYSTEMS AND DETAILS ON THESE PLANS ARE THE PRIORITY DESIGN; HOWEVER, ALTERNATIVE SYSTEMS AND DETAILS MAY BE USED IF THE CONTRACTOR SUBMITS PLANS WITH SUBSTANTIATING CALCULATIONS AND TEST DATA THAT ARE ACCEPTED BY THE ENGINEER.
- G4 **CONSTRUCTION LOADS.** STRUCTURES HAVE BEEN DESIGNED FOR OPERATIONAL LOADS ON THE COMPLETED STRUCTURES; DURING CONSTRUCTION, THE STRUCTURES SHALL BE PROTECTED BY BRACING AND BALANCING WHEREVER EXCESSIVE CONSTRUCTION LOADS MAY OCCUR.

**STEEL**

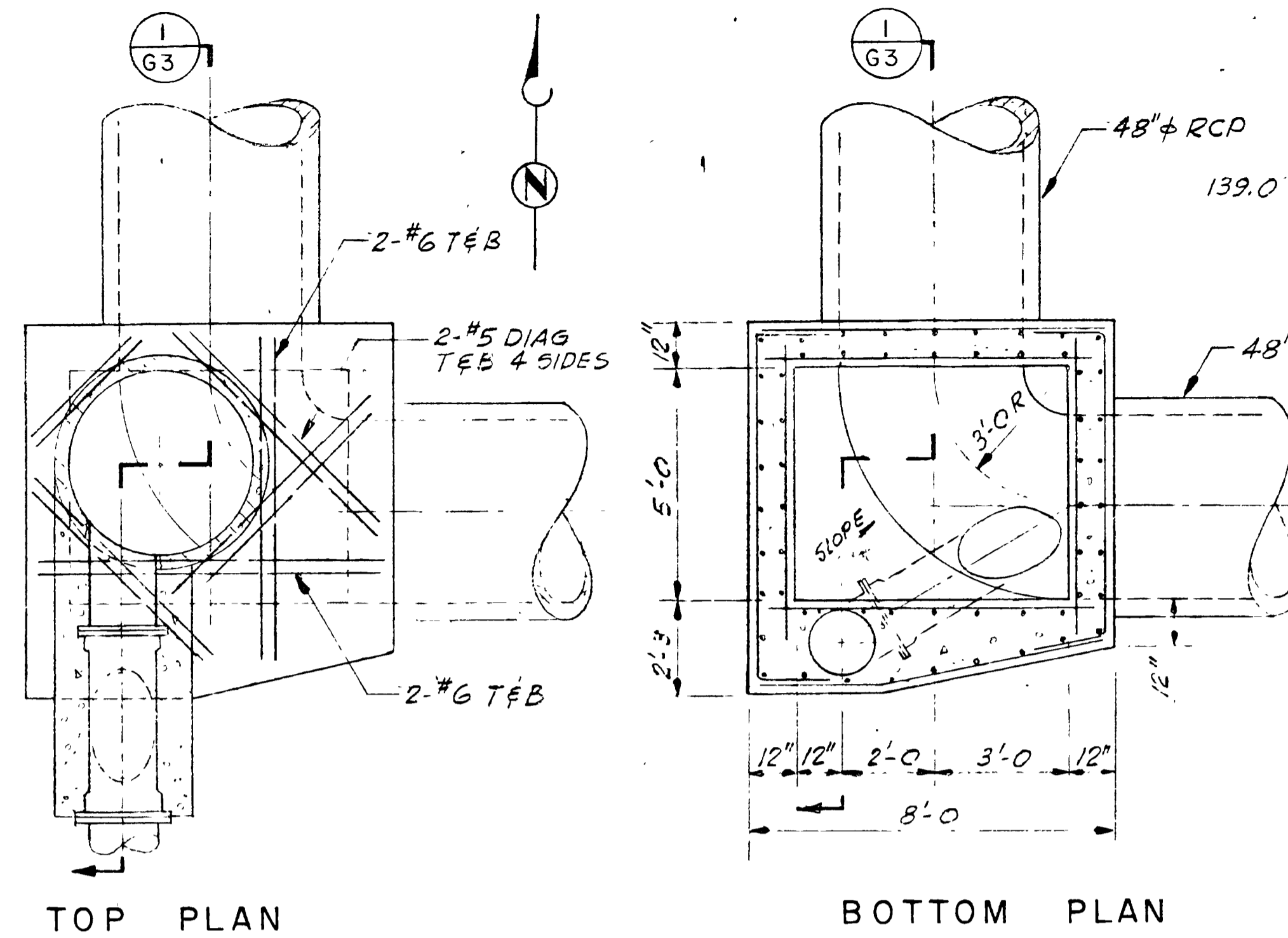
- ST1 **CODES AND SPECIFICATIONS.** STEEL CONSTRUCTION SHALL CONFORM TO THE SPECIFICATIONS AND STANDARDS AS CONTAINED IN THE LATEST EDITION OF THE AISC STEEL CONSTRUCTION MANUAL.
- ST2 **MATERIAL.** ALL STRUCTURAL SHAPES, BARS, PLATES AND SHEETS INDICATED ON THE DRAWINGS SHALL BE STEEL MEETING ASTM A-7 SPECIFICATIONS.
- ST3 **WELDING.** ALL WELDING SHALL CONFORM TO A. W. S. CODE FOR ARC AND GAS WELDING IN BLDG. CONSTRUCTION. WELDERS SHALL BE CERTIFIED BY THE CITY OF SEATTLE BUILDING DEPARTMENT.
- ST4 **ENCASED STEEL.** STEEL COMPLETELY ENCASED IN CONCRETE SHALL NOT BE GALVANIZED OR PAINTED AND SHALL HAVE A CLEAN SURFACE FOR BONDING WITH CONCRETE WHEN IT IS CAST.

**ALUMINUM**

- A1 **SPECIFICATIONS AND CODES.** ALUMINUM CONSTRUCTION SHALL BE IN ACCORDANCE WITH ASCE'S SPECIFICATIONS FOR STRUCTURES OF ALUMINUM ALLOW 6061-T6.

**CONCRETE**

- C1 **APPLICABLE CODE.** CONCRETE CONSTRUCTION SHALL CONFORM TO THE LATEST EDITION ACI BUILDING CODE (ACI 318-63).
- C2 **RE-STL DETAILS.** ALL DETAILING, FABRICATION AND ERECTION OF REINFORCING BARS, UNLESS OTHERWISE NOTED, SHALL BE IN ACCORDANCE WITH MAUNAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES ACI-315 LATEST EDITION.
- C3 **DESIGN STRESSES**
  - A. PRECAST CONCRETE 5,000 PSI ULTIMATE COMPRESSIVE STRESS AT 28 DAYS, EXCEPT AS NOTED.
  - B. TREMIE CONCRETE SEE SPECIFICATIONS.
  - C. CAST-IN-PLACE CONCRETE - 3,000 PSI ULTIMATE COMPRESSIVE STRESS AT 28 DAYS.
  - D. REINFORCING STEEL TENSION DUE TO FLEXURE - INTERMEDIATE GRADE - 20,000 PSI.
- C4 **CONCRETE COVER.** CONCRETE COVER FOR REINFORCING BARS SHALL BE AS SPECIFIED ON THE DRAWINGS. COVER NOT SPECIFIED SHALL BE AS FOLLOWS WITH MINIMUM COVER OF ONE BAR DIAMETER:
  - A. CONCRETE CAST AGAINST GROUND - 3"
  - B. CONCRETE TO BE IN CONTACT WITH SEWAGE - 2-1/2"
  - C. CONCRETE ON EXTERIOR FACE OF EXTERIOR WALL - 2"
  - D. CONCRETE TO BE IN CONTACT WITH GROUND, WEATHER OR CLEAN WATER
    - (1) AT BARS GREATER THAN #5 - 2"
    - (2) AT BARS #5 OR LESS - 1-1/2"
- C5 **DOWELS.** REINFORCING BARS USED AS DOWELS SHALL BE THE SAME SIZE AND SPACING AS BARS WITH WHICH THEY ARE LAPPED.
- C6 **BAR SPLICES.** ALL BAR SPLICES SHALL BE LAPPED AT LEAST 24 BAR DIAMETERS. THE LENGTH OF LAP SPLICE OF BARS OF DIFFERENT DIAMETERS SHALL BE BASED ON THE LARGER DIAMETER. BAR SPLICES MAY ALSO BE MADE BY WELDING IN ACCORDANCE WITH THE SPECIFICATIONS.
- C7 **STANDARD HOOKS.** BARS ENDING IN RIGHT ANGLE BENDS OR HOOKS SHALL CONFORM TO THE REQUIREMENTS OF PAR. 801, ACI 318 63.
- C8 **CHAMFERS.** EXCEPT AS OTHERWISE REQUIRED, EXPOSED CONCRETE CORNERS AND EDGES SHALL HAVE 3/4" CHAMFERS. RE-ENTRANT CORNERS SHALL NOT HAVE FILLETS.
- C9 **CONSTRUCTION JOINTS.** LOCATION OF ALL CONSTRUCTION JOINTS SHALL HAVE THE APPROVAL OF THE ENGINEER. IN WATERTIGHT STRUCTURES, PVC WATERSTOPS SHALL BE PROVIDED IN THE CONSTRUCTION JOINTS. CONSTRUCTION JOINTS SHALL BE AS DETAILED ON THE DRAWINGS.

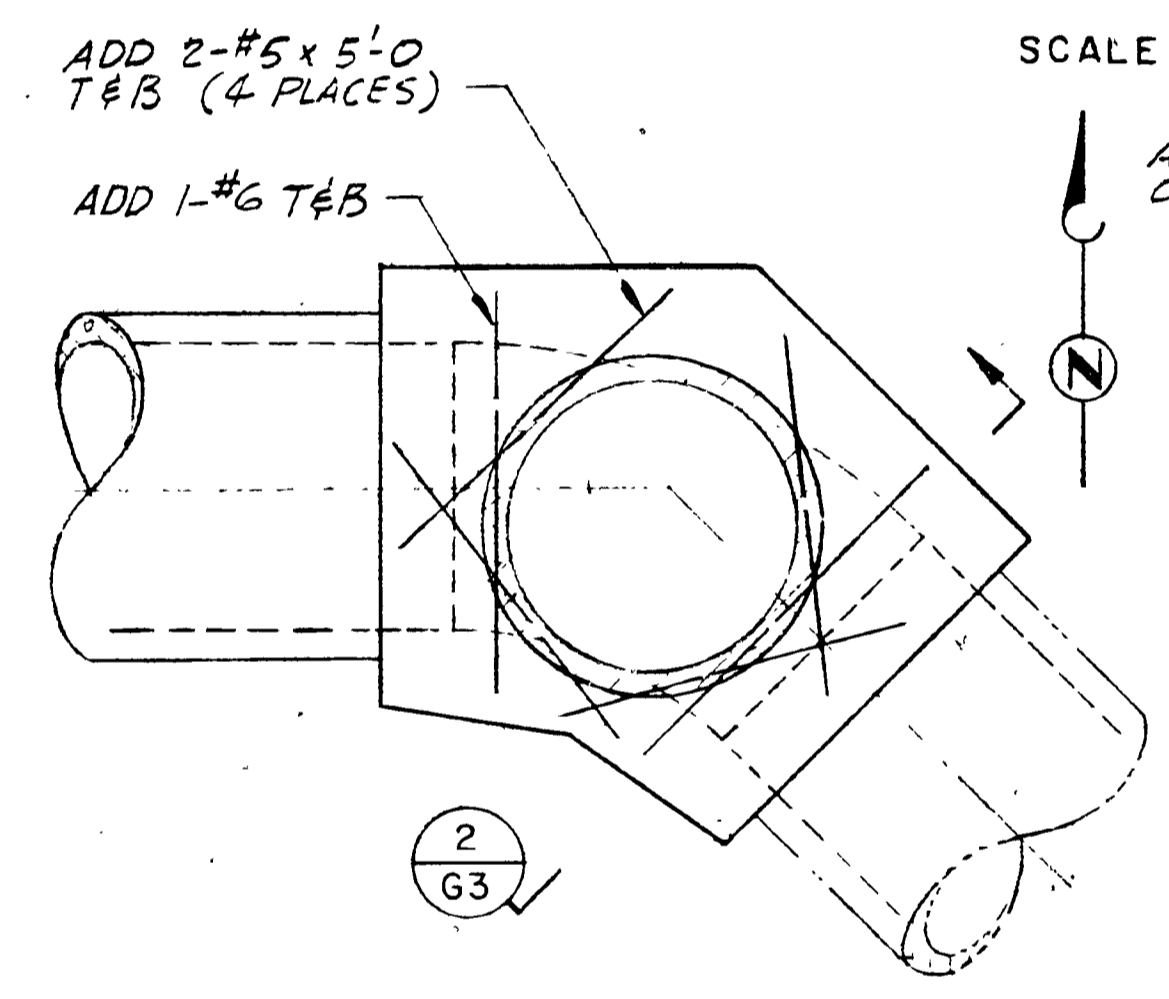


TOP PLAN

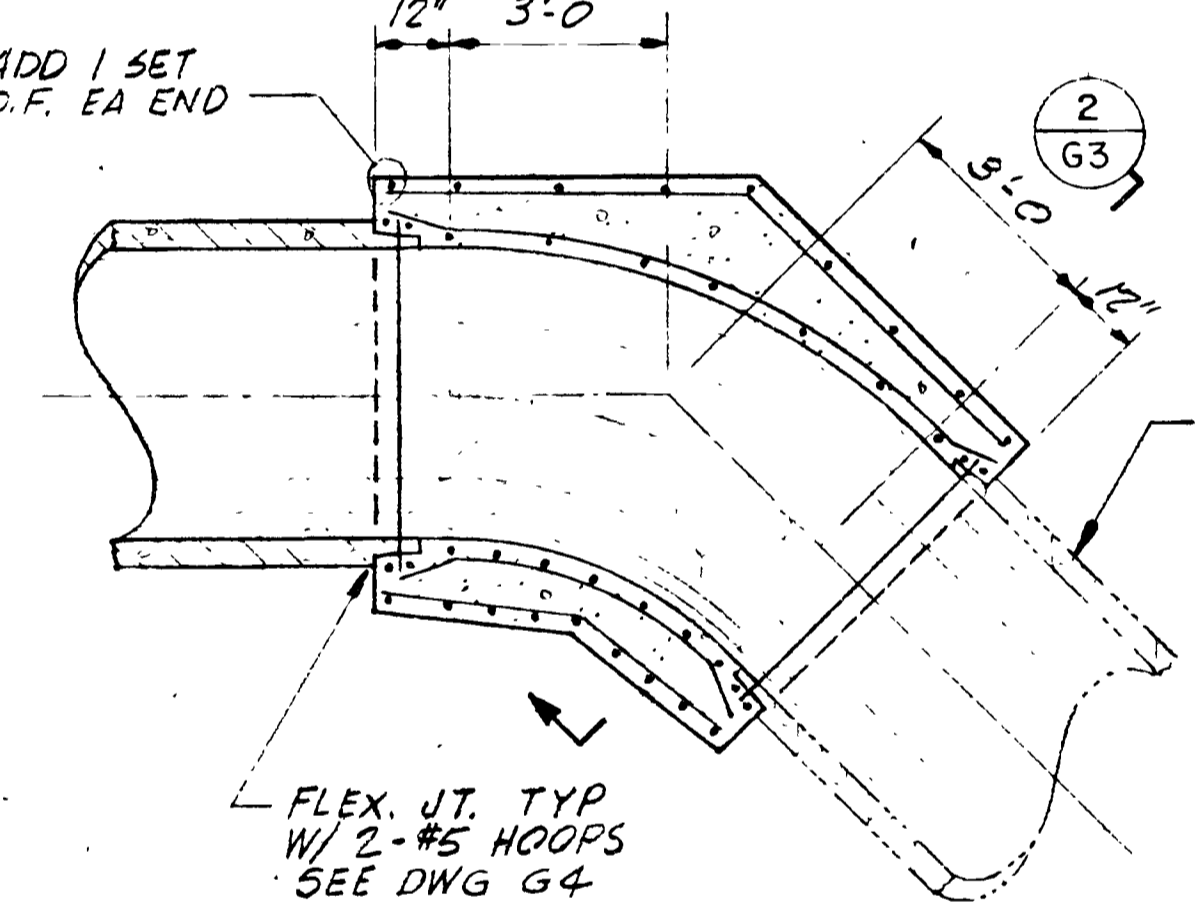
BOTTOM PLAN

MANHOLE R08G-25

SCALE: 3/8" = 1'-0"



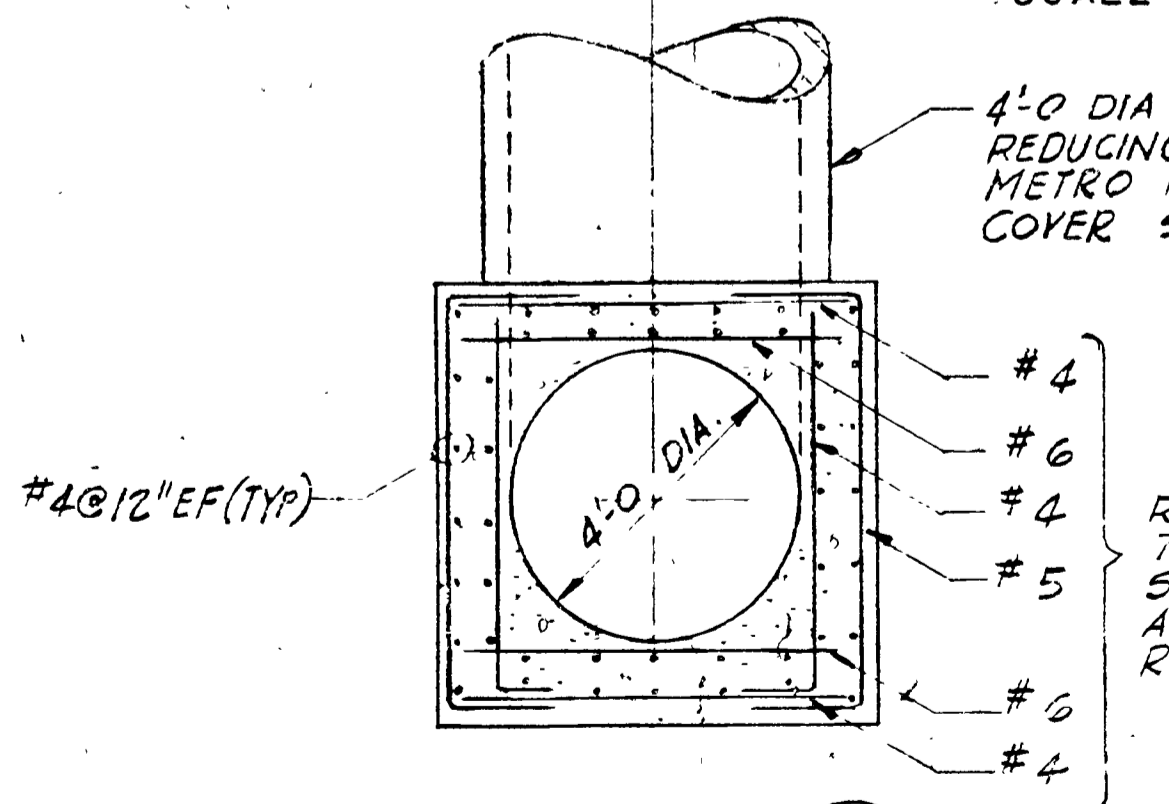
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BOTTOM PLAN

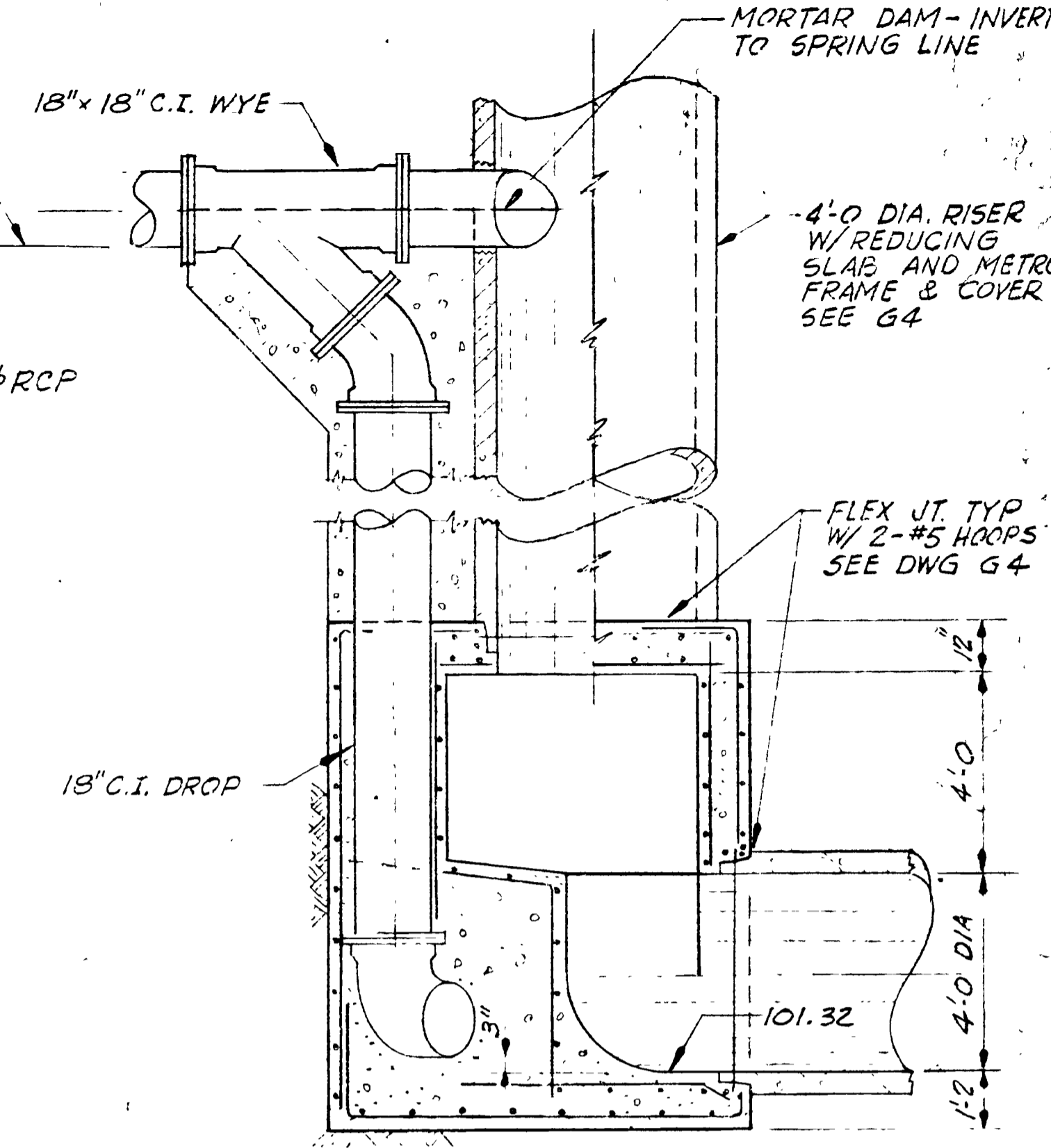
MANHOLE R08G-24

SCALE: 3/8" = 1'-0"



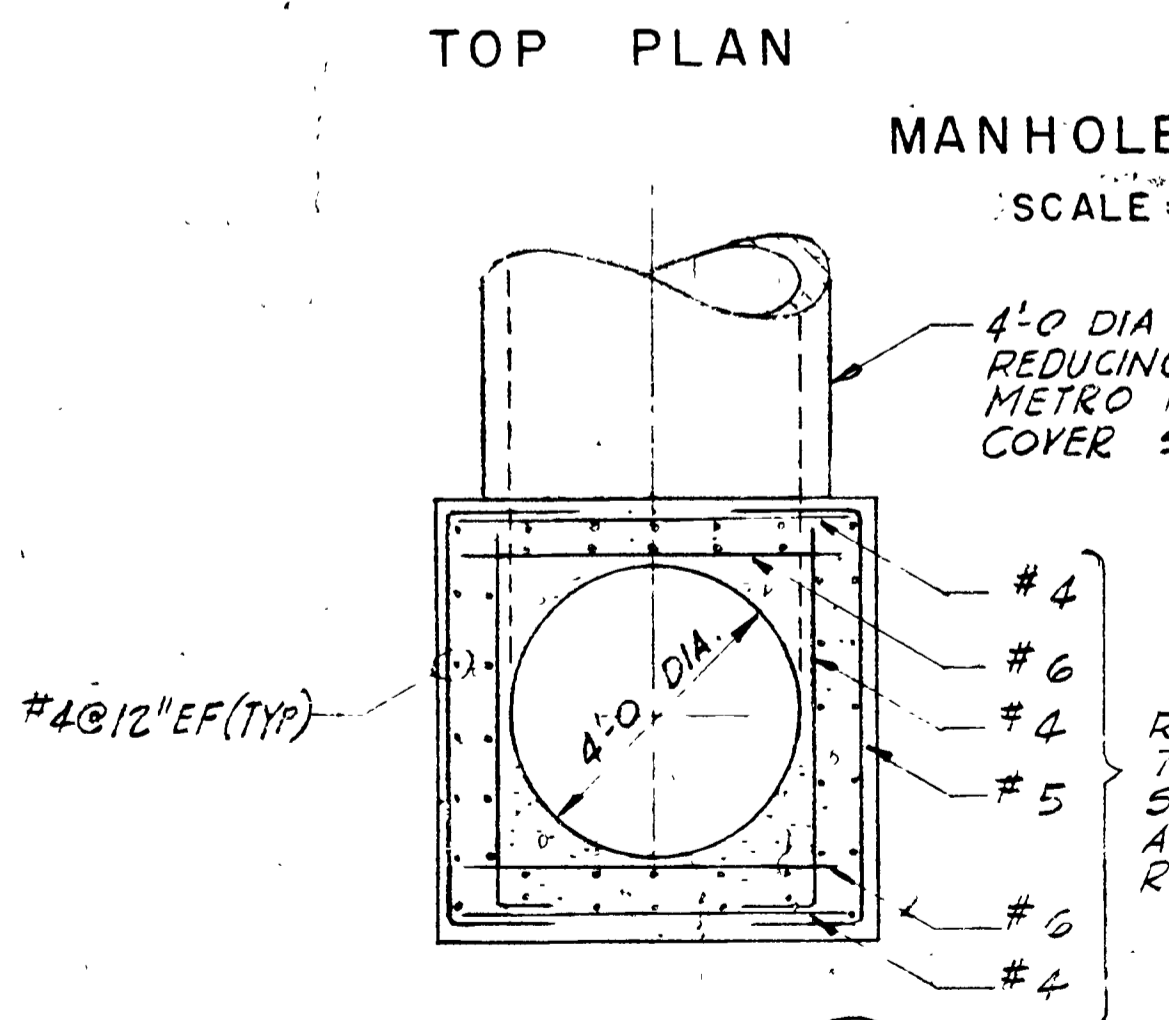
SECTION 2/G3

SCALE: 3/8" = 1'-0"

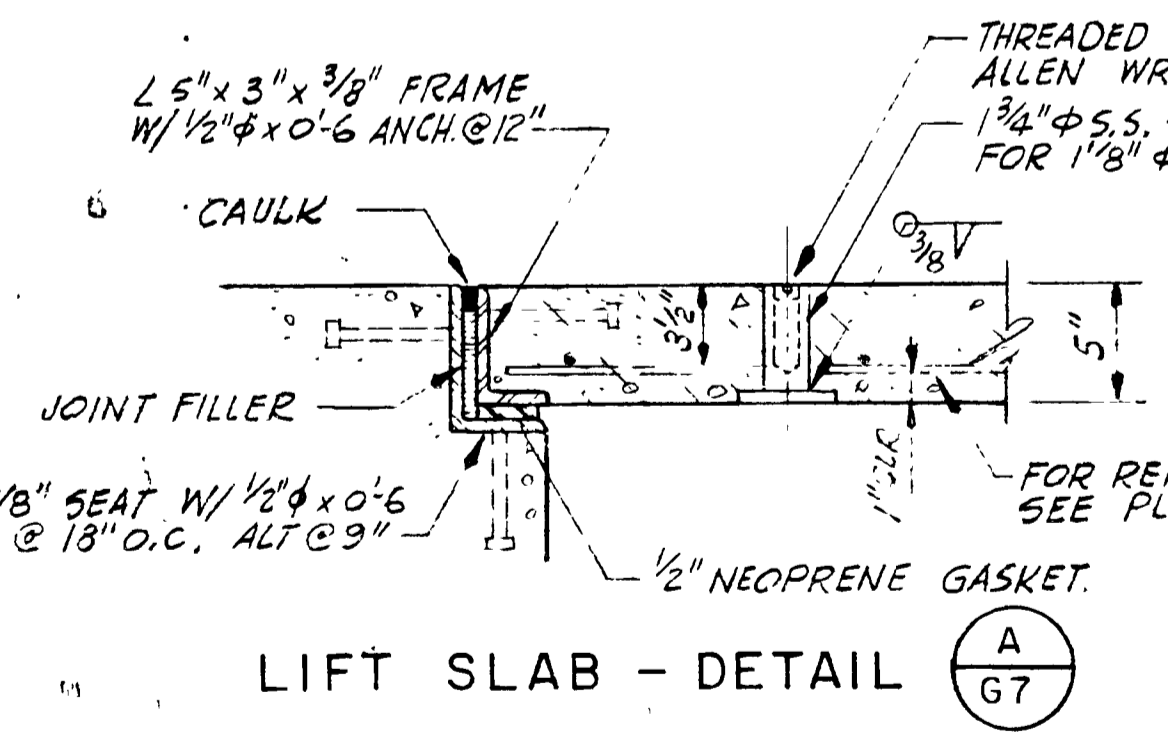


SECTION 1/G3

SCALE: 3/8" = 1'-0"



VERTICAL CONST. JOINT HORIZ. CONST. JOINT TYPICAL CONSTRUCTION JOINT

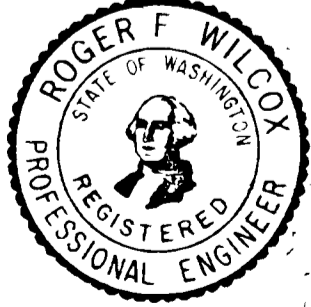


LIFT SLAB - DETAIL A/G7

TYPICAL CORNER REINF.

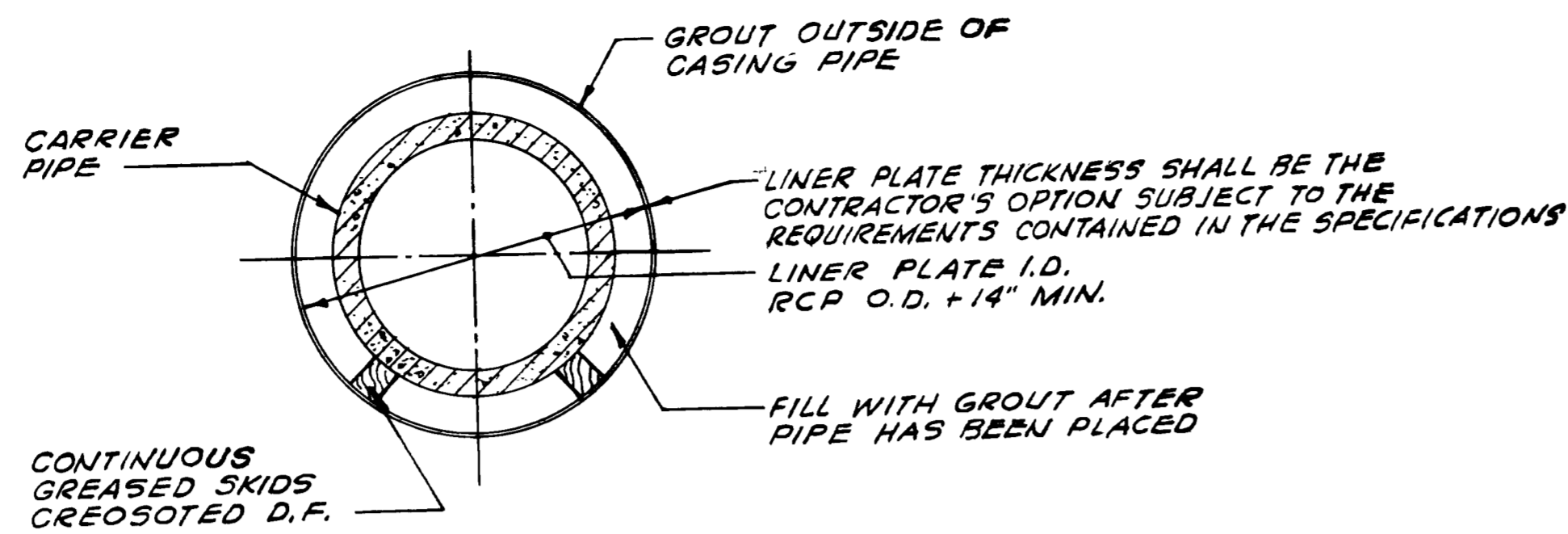
104414

AS CONSTRUCTED  
DATE SEPT. 1970

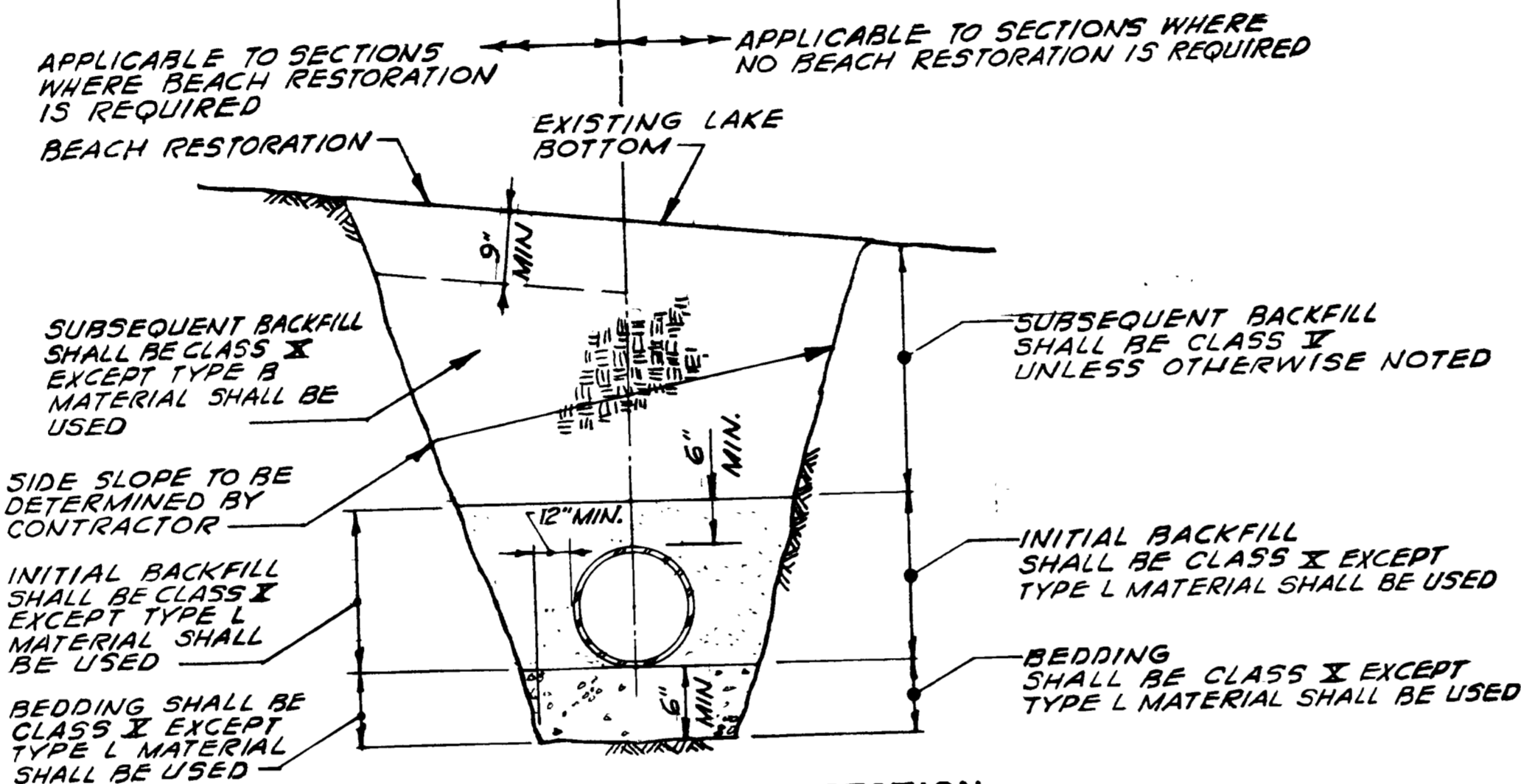


DRAWN BY: MCD CHECKED: WG, MCO	METROPOLITAN ENGINEERS BROWN AND CALDWELL HILL AND INGMAN	CARR AND KRAMER R.W. BECK AND ASSOCIATES	MUNICIPALITY OF METROPOLITAN SEATTLE	R 2086 NOV 1968	AS NOTED	RENTON SYSTEM	NORTH MERCER ISLAND INTERCEPTOR GENERAL STRUCTURAL NOTES DETAILS, AND SPECIAL MANHOLES	SHEET NUMBER: 3 OF 30
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"KING COUNTY DEPARTMENT OF NATURAL RESOURCES AND PARKS DOES NOT WARRANT OR GUARANTEE THE ACCURACY OR COMPLETENESS OF THE DATA SHOWN HEREIN"

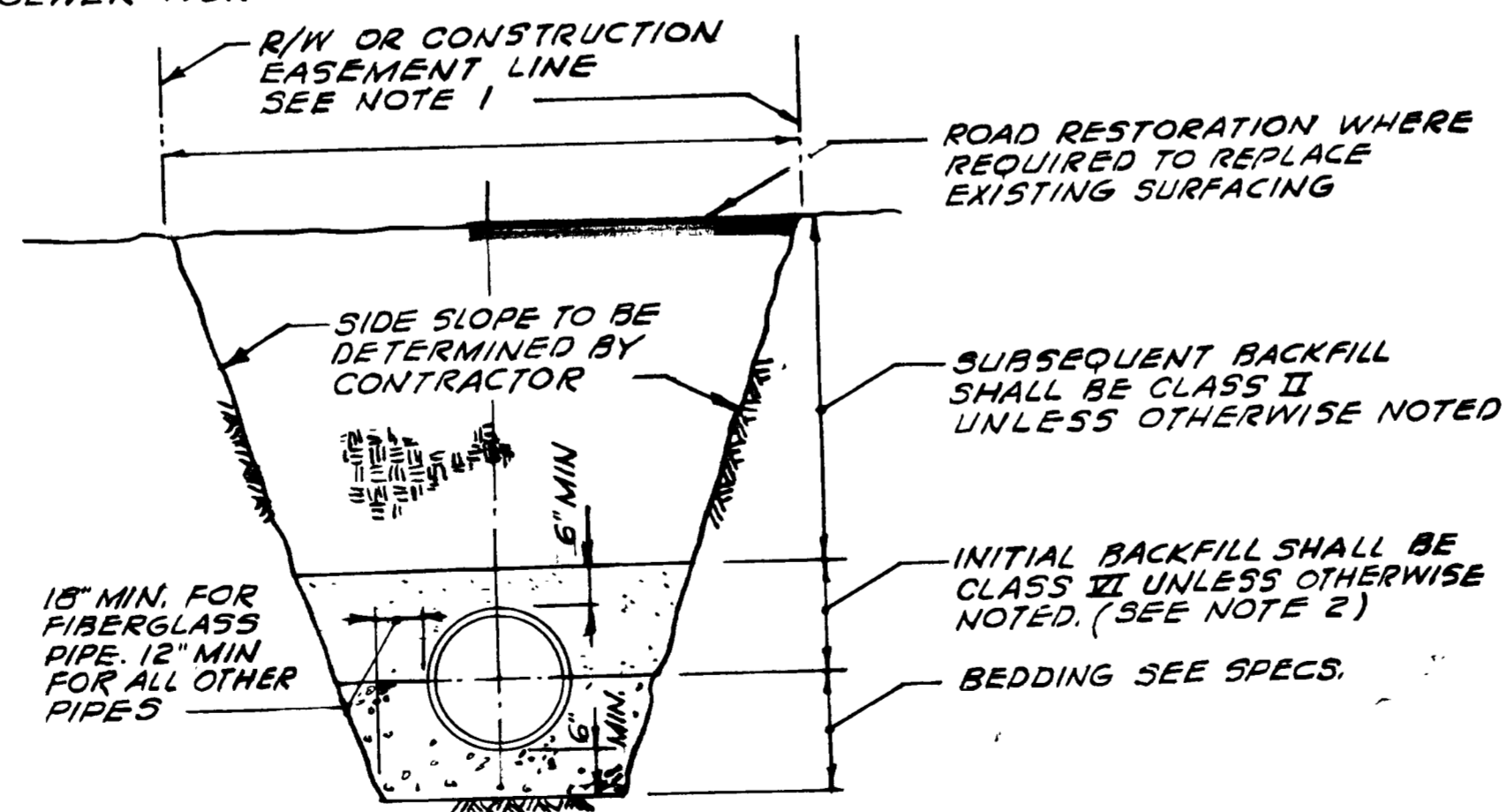


TUNNELED SECTION



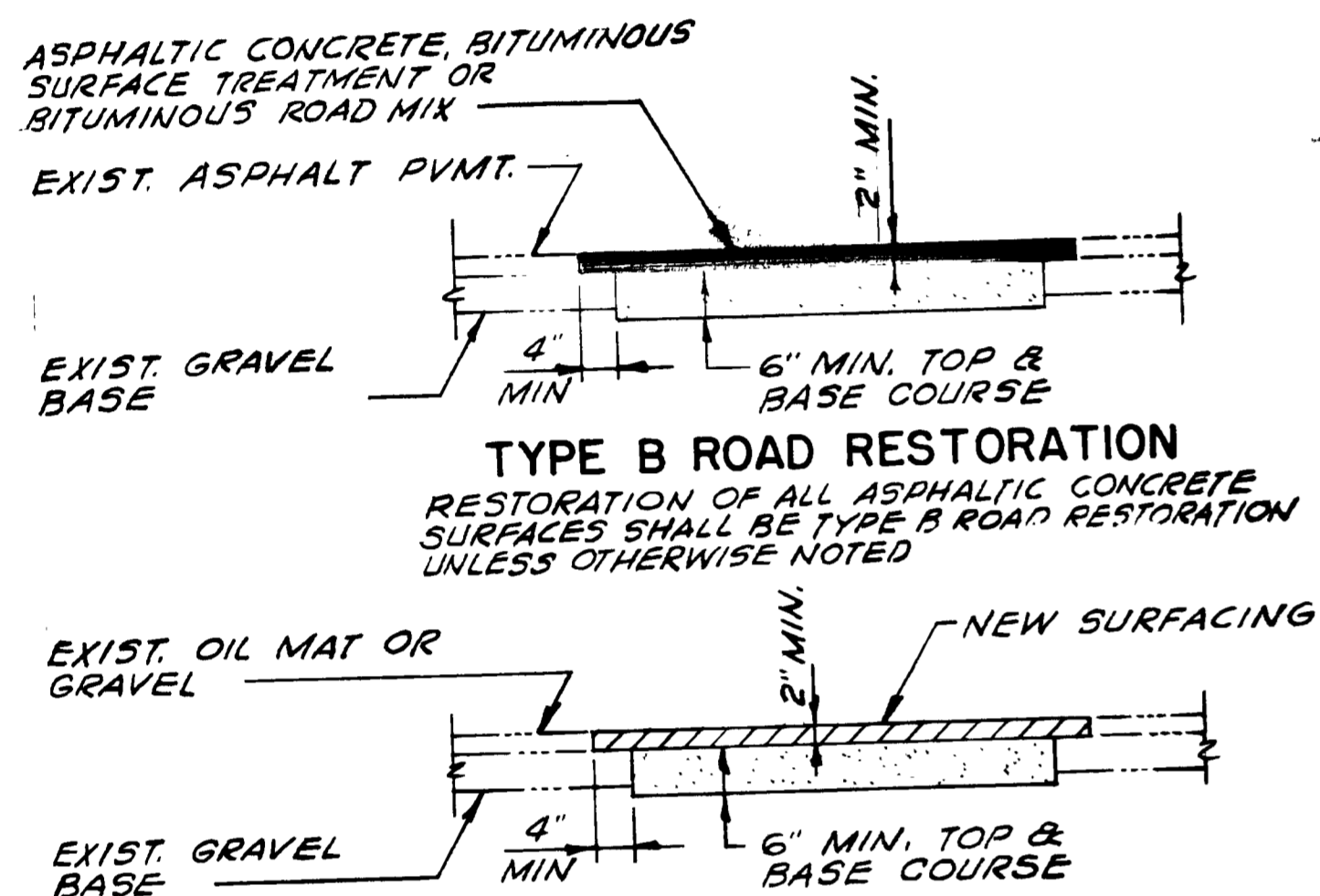
UNRESTRICTED TRENCH SECTION UNDERWATER

NOTE: UNLESS OTHERWISE NOTED ON THE DRAWINGS, THE CONTRACTOR MAY USE EITHER OF THE INDICATED TRENCH SECTIONS ON LAND FOR THE EXCAVATION OF ALL ON SHORE SEWER WORK



UNRESTRICTED TRENCH SECTION ON LAND

- NOTES:
1. THE MAXIMUM WIDTH AT THE TOP OF THE TRENCH SHALL BE DETERMINED BY THE CONTRACTOR TO SUIT HIS CONSTRUCTION OPERATIONS, TRAFFIC FLOW AND PROTECTION OF ADJACENT PROPERTY ARE THE CONTRACTORS RESPONSIBILITY.
  2. INITIAL BACKFILL FOR FIBERGLASS, A.C. & P.V.C. PIPES SHALL BE CLASS I.
  3. FOR FIBERGLASS PIPES MINIMUM TRENCH WIDTH SHALL BE O.D. + 3'-0

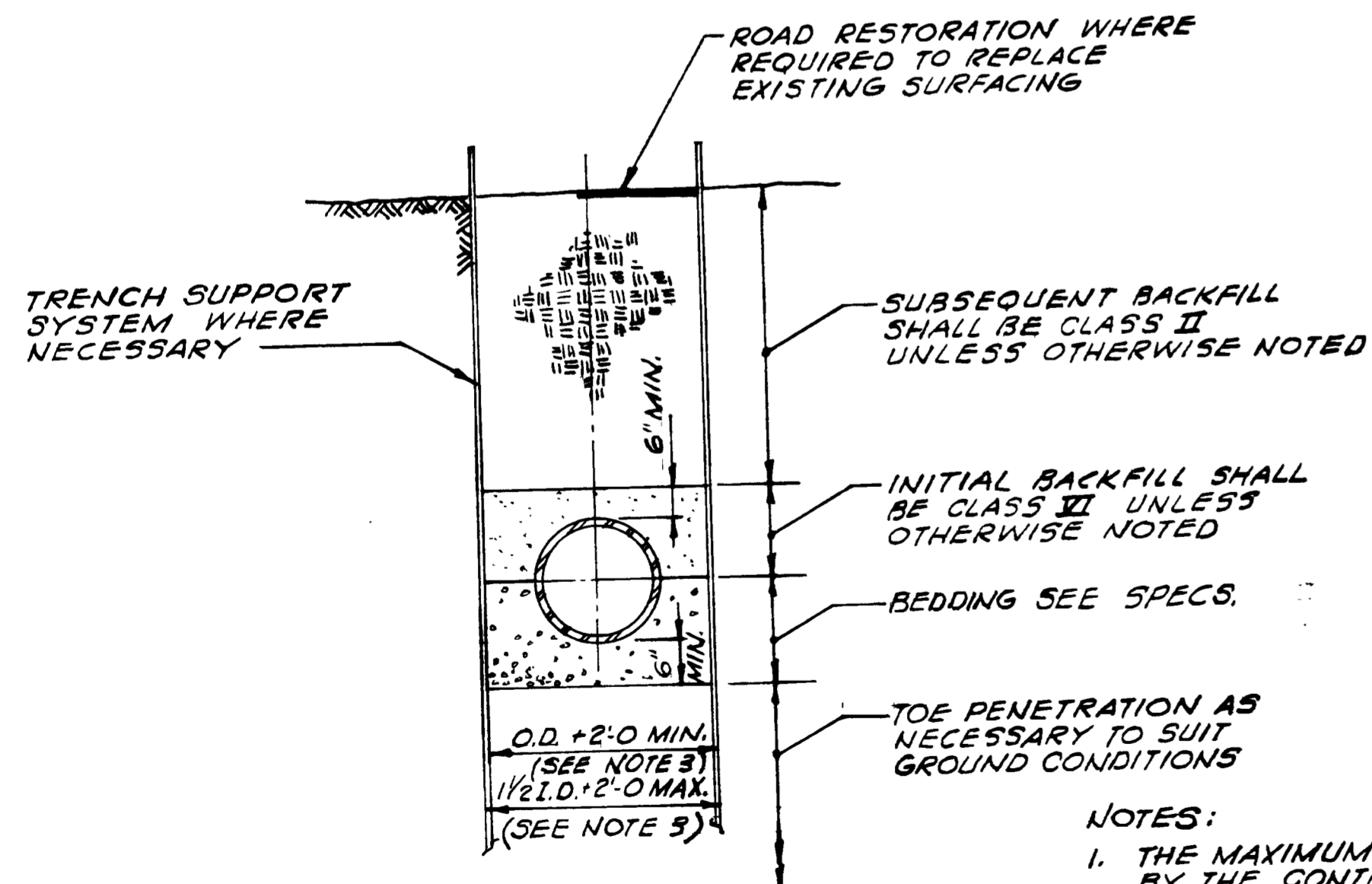


TYPE B ROAD RESTORATION

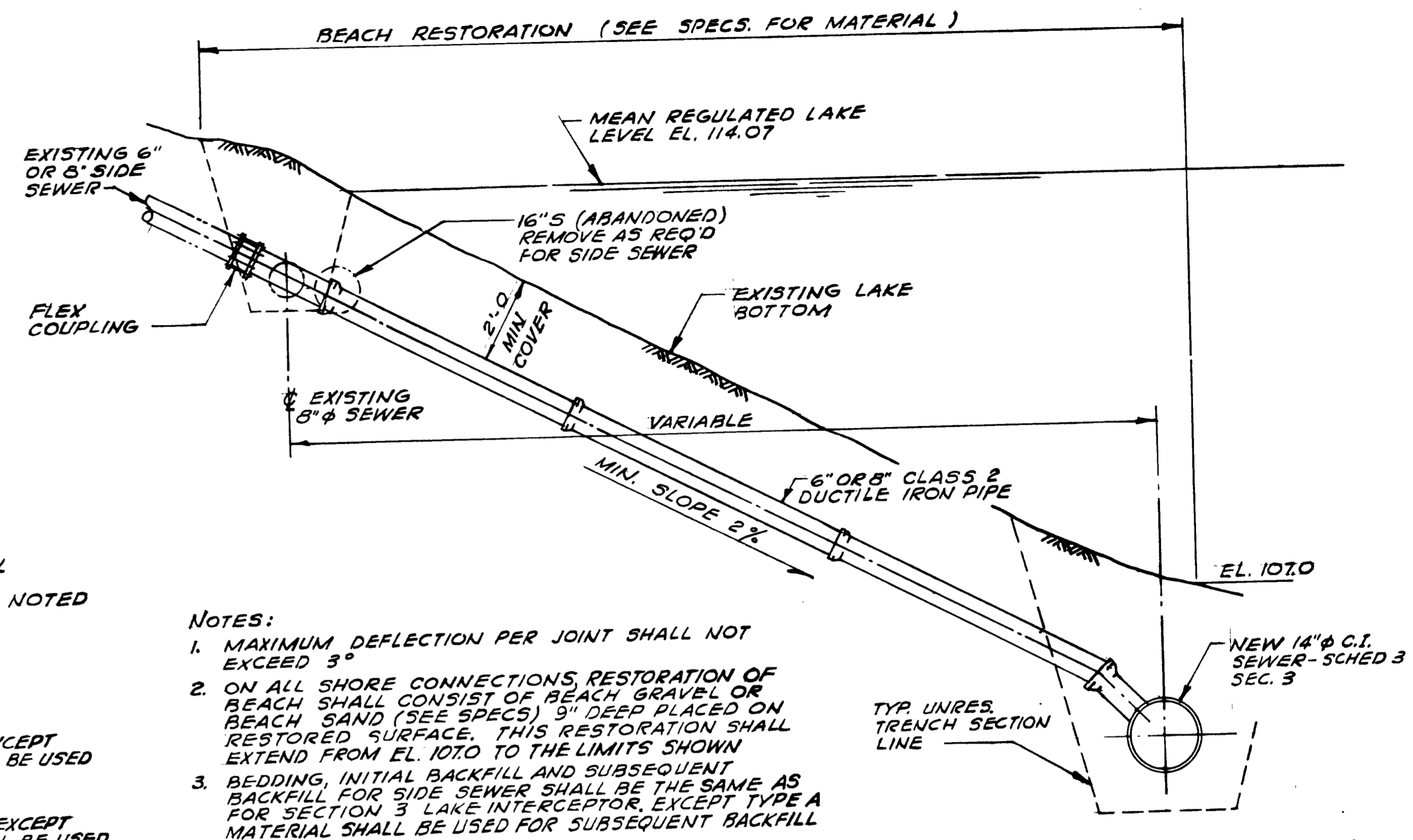
RESTORATION OF ALL ASPHALTIC CONCRETE SURFACES SHALL BE TYPE B ROAD RESTORATION UNLESS OTHERWISE NOTED

TYPE C OR D ROAD RESTORATION

RESTORATION OF ALL SURFACES WITHIN STREET RIGHT-OF-WAYS, EXCEPT ASPHALTIC CONCRETE, SHALL BE ROAD RESTORATION TYPE D UNLESS OTHERWISE NOTED



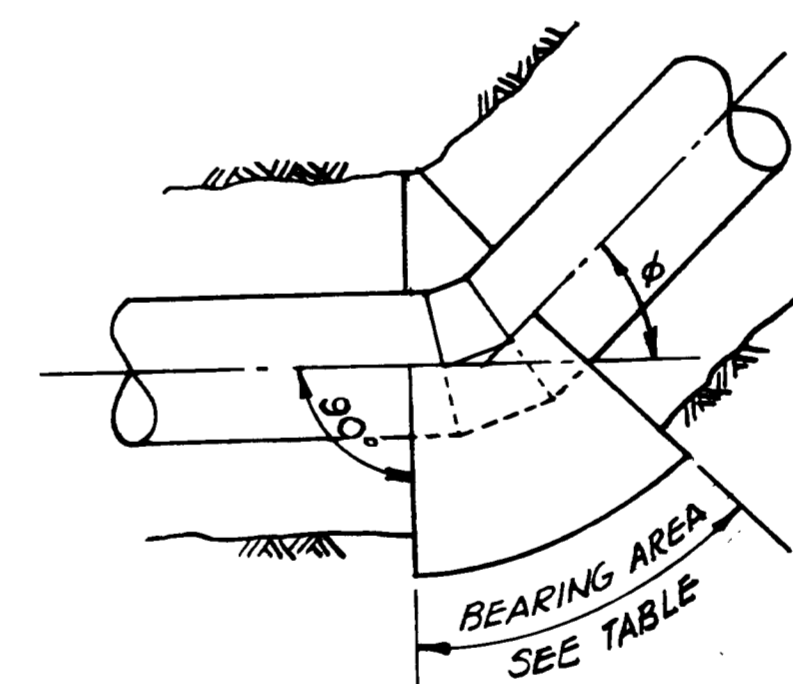
TYPICAL VERTICAL TRENCH SECTION ON LAND



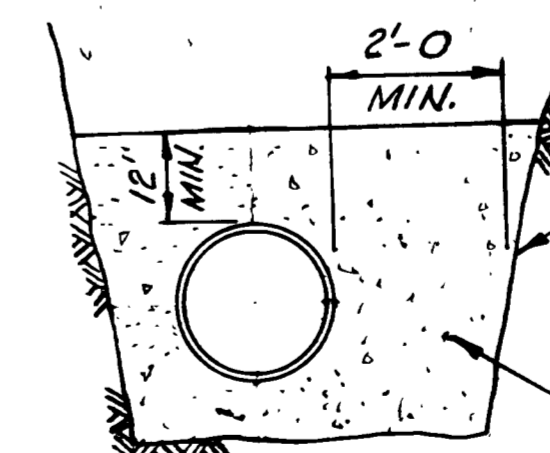
NOTES:

1. MAXIMUM DEFLECTION PER JOINT SHALL NOT EXCEED 3°
2. ON ALL SHORE CONNECTIONS, RESTORATION OF BEACH SHALL CONSIST OF BEACH GRAVEL OR BEACH SAND (SEE SPECS) 9" DEEP PLACED ON RESTORED SURFACE. THIS RESTORATION SHALL EXTEND FROM EL. 1070 TO THE LIMITS SHOWN
3. BEDDING, INITIAL BACKFILL AND SUBSEQUENT BACKFILL FOR SIDE SEWER SHALL BE THE SAME AS FOR SECTION 3 LAKE INTERCEPTOR, EXCEPT TYPE A MATERIAL SHALL BE USED FOR SUBSEQUENT BACKFILL

TYPICAL SIDE SEWER CONNECTION (SCHEDULE 3 - SECTION 3)



PLAN



SECTION

THRUST BLOCK DETAIL (SCHEDULE 2 - SECTION 2)

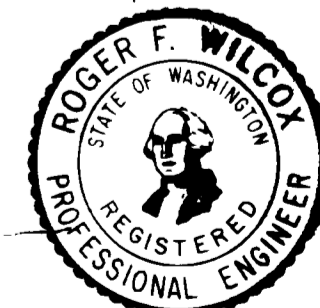
NOTE: FITTING AND PIPE JOINTS SHALL BE RESTRAINED AS SHOWN IN DETAIL B/66

STATION	BEARING AREA SQ. FT.
31+22.55	12
31+69.23	12
37+02.62	19
40+71.86	34
42+03.96	25
43+65.96	24

AS CONSTRUCTED

104122

DATE SEPT. 1970



DESIGNED GSD, CW  
DRAWN HCC  
CHECKED GSD, CW

METROPOLITAN ENGINEERS  
BROWN AND CALDWELL  
HILL AND INGMAN

CAREY AND KRAMER  
R W BECK AND ASSOCIATES

SUBMITTED [Signature]  
Design Engineer - Metropolitan Engineers

RECOMMENDED [Signature]  
Project Engineer - Metropolitan Engineers

APPROVED [Signature]  
Chief Engineer - Metropolitan Engineers

APPROVED [Signature]  
For Metropolitan Engineers

APPROVED [Signature]  
For Municipality of Metropolitan Seattle

SCALE NO SCALE

FILE R208G  
DATE NOV 1968

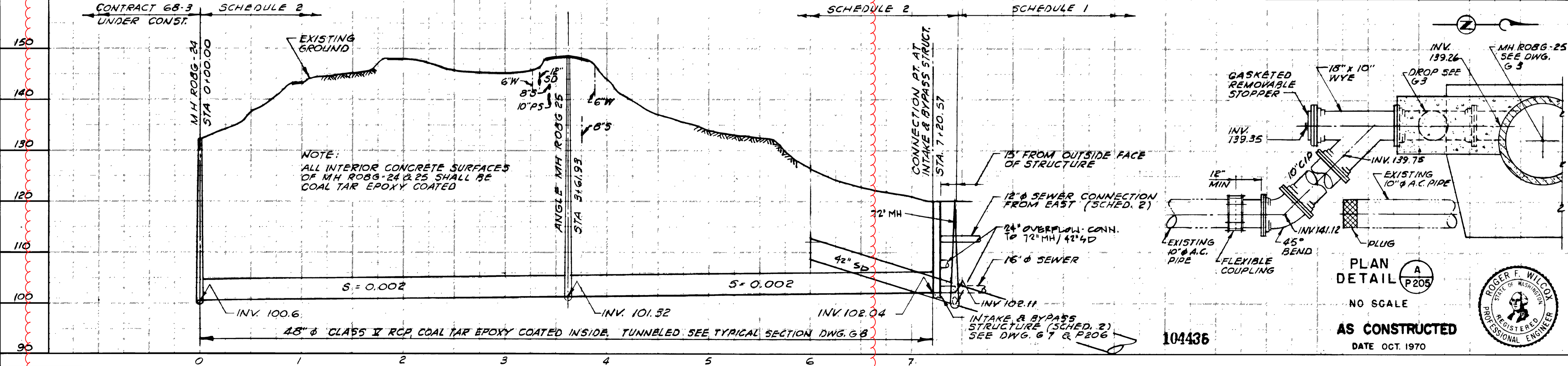
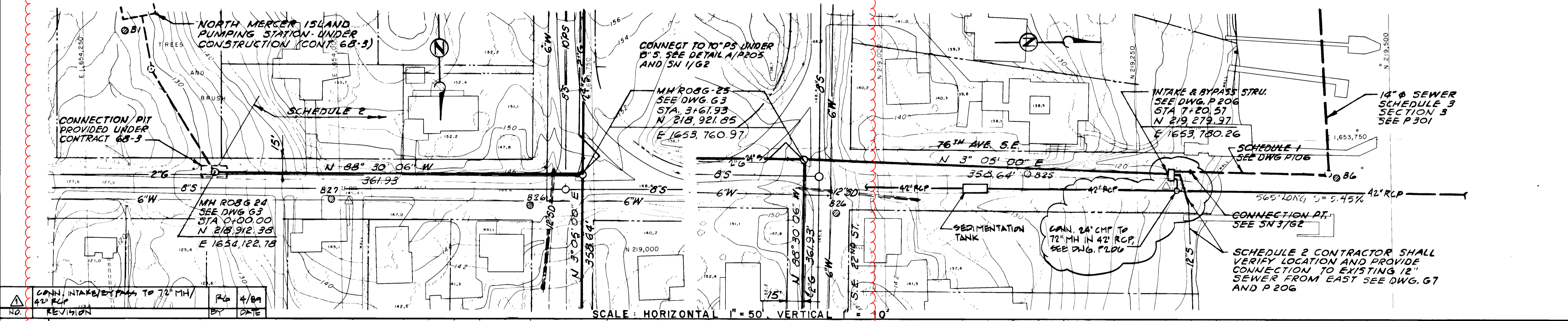
RENTON SYSTEM

NORTH MERGER ISLAND INTERCEPTOR  
TYPICAL TRENCH SECTIONS  
AND DETAIL

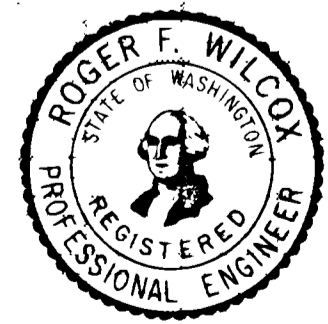
DRAWING NUMBER  
G 8  
SHEET NUMBER  
8 OF 30

AERIAL PHOTOGRAPHY PERFORMED FEBRUARY 1968. TOPOGRAPHY IS APPROXIMATE ONLY AND DOES NOT REFLECT CHANGES SINCE DATE OF PHOTOGRAPHY.

\*KING COUNTY DEPARTMENT OF NATURAL RESOURCES AND PARKS DOES NOT WARRANT OR GUARANTEE THE ACCURACY OR COMPLETENESS OF THE DATA SHOWN HEREIN\*



DESIGNED: GSD	METROPOLITAN ENGINEERS	MUNICIPALITY OF METROPOLITAN SEATTLE	FILE: R208G	DRAWING NUMBER: P205
DRAWN: HCC	BROWN AND CALDWELL CAREY AND KRAMER	RENTON SYSTEM	NOV 1968	NORTH MERCER ISLAND INTERCEPTOR-SECTION 2
CHECKED: GSD	HILL AND INGMAN R W BECK AND ASSOCIATES	AS NOTED	DATE: NOV 1968	STA. 0+00 TO STA. 7+20.57 TUNNEL
SUBMITTED: <i>Hayden</i>		RECOMMENDED: <i>W. D. ...</i>	APPROVED: <i>[Signature]</i>	AS NOTED
Design Engineer - Metropolitan Engineers		Project Engineer - Metropolitan Engineers	Chief Engineer - Metropolitan Engineers	For: Metropolitan Engineers



PLAN DETAIL A P205

NO SCALE  
AS CONSTRUCTED  
DATE OCT. 1970

104436

# Attachment B

**From:** [LPA TEAM](#)  
**To:** [Lauren Anderson](#)  
**Cc:** [LPA TEAM](#)  
**Subject:** RE: Greg Arms / Milestone WCMILLC project (SUB21-006, CAO21-004, & SEP21-022)  
**Date:** Monday, December 6, 2021 9:33:51 AM  
**Attachments:** [KC WTD Record Drawing Pages from 100259 North Mercer Island FM & Interceptor \(Sections 1 2 & 3\).pdf](#)  
[KC WTD Sewer One-Line 200 N Mercer Interceptor Trunk west.pdf](#)

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Hi Lauren,

Thanks for submitting the plans and informing me of the documents links on the NOA.

King County (KC) Wastewater's 48" sewer runs along SE 22<sup>nd</sup> St but is not shown on the plan set, making it unclear on whether the proposed side sewer is connecting to the local sewer or to KC's sewer. Can you please confirm that this is a connection to the 8" local sewer?

If it's not too late to make revisions to the plans, we request that KC's sewer be shown on the sewer plan and to include a profile view of the proposed sewer connection. Please also label the size of the sewer shown on the plans. Since KC's sewer is south of the local sewer, we want to ensure adequate clearance when the proposed sewer is crossing KC's sewer.

Please see attached record drawings and sewer one-line map for reference (these are also included in our comment letter).

Please let me know if you have any questions.

Thanks,

**Ternessa Cao**

**Local Public Agency (LPA) Program**

Wastewater Engineer

King County Dept. of Natural Resources & Parks

Wastewater Treatment Division (WTD)

(206) 263-0727 | [lpa.team@kingcounty.gov](mailto:lpa.team@kingcounty.gov)

<https://www.kingcounty.gov/lpa>

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**From:** Lauren Anderson <Lauren.Anderson@mercergov.org>

**Sent:** Monday, November 22, 2021 4:23 PM

**To:** LPA TEAM <LPA.TEAM@kingcounty.gov>

**Subject:** Greg Arms / Milestone WCMILLC project (SUB21-006, CAO21-004, & SEP21-022)

[EXTERNAL Email Notice! ] External communication is important to us. Be cautious of phishing attempts. Do not click or open suspicious links or attachments.

Hello,

Please refer to the attached files for SUB21-006, CAO21-004, and SEP21-022. I'm unable to email all

the files, however all the files can be accessed using the public NOA project documents link. Please note that this link will be continuously updated when the city receives future resubmittals.

According to our permit tracking system, as of today the city has not received a building permit application for the proposed development.

Sincerely,

[Lauren Anderson](#)

Planner

City of Mercer Island - Community Planning & Development

206.275.7704 | [mercerisland.gov/cpd](http://mercerisland.gov/cpd)

*Due to the COVID-19 outbreak, Community Planning and Development has modified our operations. City Hall and the Permit Center are closed to the public. There is no “walk in” permit service; staff are working remotely and services are being continued via remote operations. More information is available on the City’s website: [mercerisland.gov/cpd](http://mercerisland.gov/cpd). Please contact us by phone for general customer support at 206-275-7626.*

Notice: Emails and attachments may be subject to disclosure pursuant to the Public Records Act (chapter 42.56 RCW).